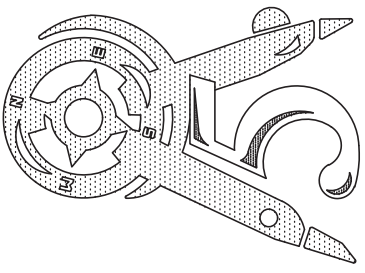




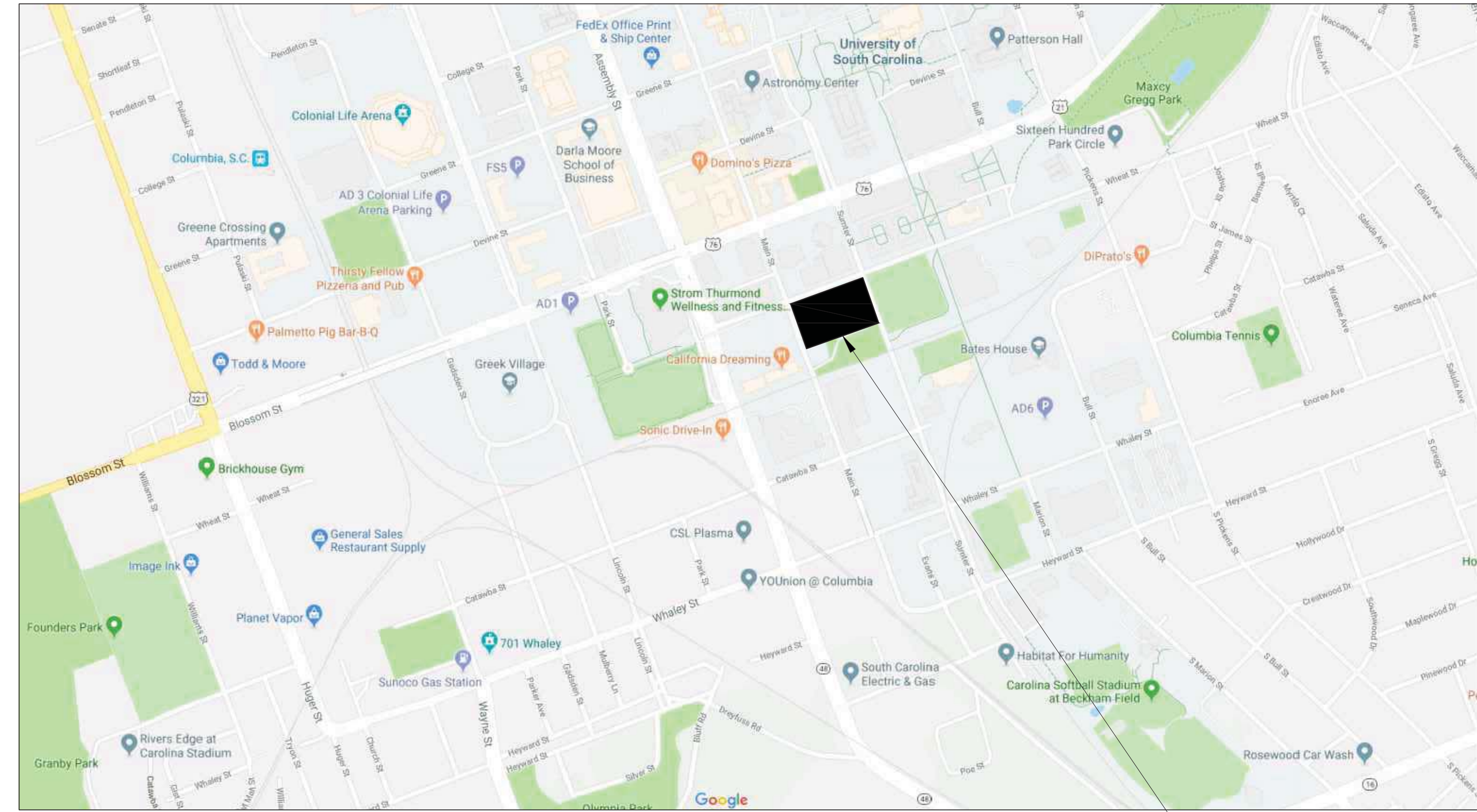
University of South Carolina

Green Quad Residence Hall & Learning Center Interior Painting Maintenance USC Project # 50003341-2



Compass 5 Partners, LLC
1329 State Street Cayce, SC 29033
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ARCHITECT	
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SHEET No.	DESCRIPTION
T1.1	COVER SHEET AND INDEX
T1.2	CODE, GENERAL NOTES AND LEGEND
T1.3	FINISH NOTES AND LEGEND
ID2.0	A - BASEMENT FINISH PLAN
ID2.1	A - 1ST FL FINISH PLAN
ID2.2	A - 2ND FL FINISH PLAN
ID2.3	A - 3RD FL FINISH PLAN
ID2.4	A - 4TH FL FINISH PLAN
ID2.5	B - 1ST FL FINISH PLAN
ID2.5	B - 1ST FL FINISH PLAN
ID2.6	B - 2ND FL FINISH PLAN
ID2.7	B - 3RD FL FINISH PLAN
ID2.8	B - 4TH FL FINISH PLAN
ID2.9	C - 1ST FL FINISH PLAN
ID2.10	C - 2ND FL FINISH PLAN
ID2.11	C - 3RD FL FINISH PLAN
ID2.12	C - 4TH FL FINISH PLAN
ID2.13	D - 1ST FL FINISH PLAN
ID2.14	D - 2ND FL FINISH PLAN



A1 LOCATION MAP - 1216 Wheat Street Columbia, SC 29201
SITE INDICATED BY BOX

SITE LOCATION

NOT TO SCALE

University of South Carolina
Green Quad Residence Hall & Learning Center
Interior Painting Maintenance USC Project # 50003341-2
Columbia, SC

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Project Number: 19USC01

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COVER SHEET AND INDEX

Date: 02.15.19
Drawn: IAP
Checked: MEC
T1.1

TABLE 5.6-1. DESIGN CODES AND STANDARDS

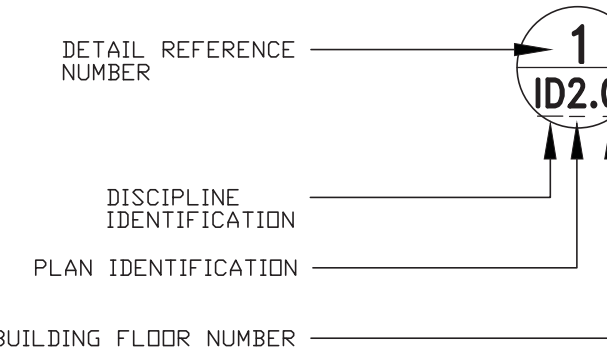
- PROJECT DESIGNED IN ACCORDANCE WITH:
1. International Building Code, 2015 Edition.
 2. International Existing Building Code, 2015 Edition.
 3. International Energy Conservation Code (IEC), 2009 Edition.
 4. International Fire Code, 2015 Edition.
 5. International Fuel Gas Code (IFGC), 2015 Edition.
 6. International Mechanical Code (IMC), 2015 Edition.
 7. International Plumbing Code (IPC), 2015 Edition.
 8. National Electrical Code, NFPA 70, 2014 Edition.
 9. National Electrical Safety Code, IEEE-C2-2012 Edition.
 10. State Fire Marshal Rules, Regulations + Policies
 11. ICC/ANSI-A117.1, Accessible and Usable Buildings and Facilities, 2017 Edition.
 12. State of SC Telephone Equipment Room and Communication/Data systems Policies as formulated by Division of State Information Technology (DSIT).

SYMBOL LEGEND

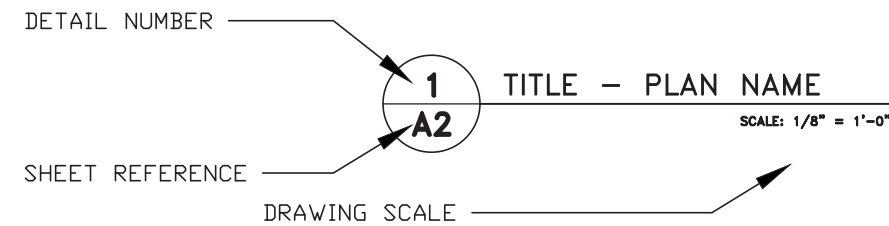
NORTH INDICATOR SYMBOL



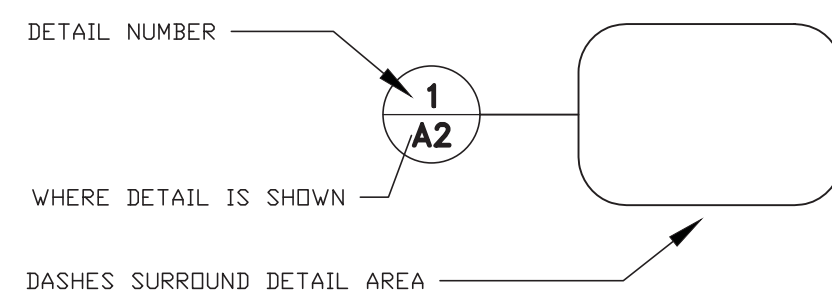
DETAILING SYMBOL



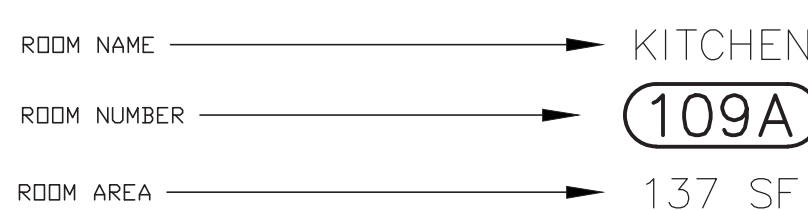
PLAN REFERENCE



PLAN DETAIL REFERENCE



ROOM TAG SYMBOL



REVISION SYMBOL



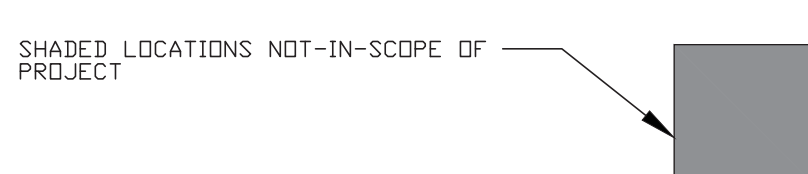
ACCENT PAINT



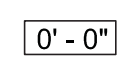
CORNER GUARD



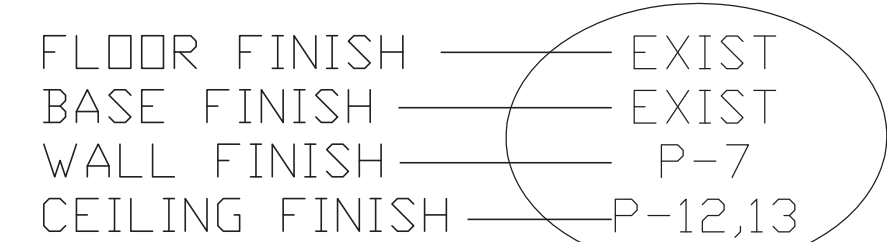
NOT IN SCOPE



CEILING HEIGHT



FINISH TAG



GENERAL NOTES

- EXISTING CONDITIONS SHOWN ON DRAWINGS BASED ON INFORMATION PROVIDED BY THE OWNER. THIS INFORMATION IS FOR REFERENCE ONLY AND MUST BE VERIFIED BY THE CONTRACTORS.
- ALL WORK PERFORMED ON EXISTING WARRANTED SYSTEMS OR ASSEMBLIES SHOULD BE PERFORMED BY APPROVED CONTRACTORS FOR SUCH ASSEMBLIES AND IN SUCH A MANNER THAT EXISTING WARRANTIES ARE NOT VOIDED OR JEOPARDIZED IN ANY MANNER.
- WALL DIMENSIONS SHOWN ON PLANS ARE TO FACE OF G/W UNO. DIMENSIONS FROM EXISTING CONSTRUCTION ARE FROM FACE OF EXISTING FINISH SUBSTRATE UNO.
- CONSTRUCTION MATERIALS OR CONSTRUCTION PROCESSES WHICH ARE HAZARDOUS TO WORKERS OR FUTURE OCCUPANTS ARE NOT PERMITTED.
- THE CONSTRUCTION SUBSYSTEMS AND PARTITION TYPES SHOWN INDICATE THE GENERAL CONSTRUCTION FEATURES OF THE WORK TO BE COMPLETED. THEY ARE NOT INTENDED TO REPRESENT THE ENTIRE CONSTRUCTION PROCESS AND ACCESSORIES USED. THE CONTRACTORS ARE RESPONSIBLE FOR COMPLETED SYSTEMS AND TO BE IN COMPLIANCE WITH GOVERNING CODES AND THE INTENT OF THE CONSTRUCTION DRAWINGS.
- TESTING AND CODE REFERENCES USED IN THESE DRAWINGS BY ABBREVIATION. OTHER TESTING AGENCIES ARE ACCEPTABLE IF IN COMPLIANCE WITH TESTING STANDARDS.
- DETAILS ARE SHOWN TO DESCRIBE DESIGN INTENT. COORDINATE COMPLETE SHOP DRAWINGS, SHOWING ALL CONSTRUCTION DETAILS AND LAYOUTS AS REQUIRED FOR A COMPLETE JOB, ADHERING TO THE MANUFACTURER'S WARRANTIES AND LOCAL AND STATE CODES.
- PROVIDE ACCESS PANELS WHERE NEEDED TO ACCESS VALVES, EQUIPMENT, FILTERS, ETC. EVEN IF NOT NOTED IN DRAWINGS.
- THE CONTRACTOR IS TO PROVIDE DUST PARTITIONS AND TACKY MATS AS NECESSARY AROUND DEMOLITION OR NEW CONSTRUCTION TO PROTECT THE OWNER'S OPERATIONS. DUST PARTITIONS SHALL BE OF NON-COMBUSTIBLE MATERIALS (INCLUDING DOORS AND FRAMES) AND MAINTAINED IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION. REFER TO THE INTERIM LIFE SAFETY PLANS AND CONTRACTOR ACCESS PLAN FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL SCHEDULE ALL WORK INCLUDING ANY INTERRUPTION OF UTILITIES PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AN UPDATED SCHEDULE AND COORDINATING CHANGES WITH OWNER AND ARCHITECT.
- BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS AND COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. REPORT ANY INCONSISTENCIES TO THE ARCHITECT AT ONCE.
- DIMENSIONS SHOWN AS EXISTING OR "EXIST." ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY IN FIELD DIMENSIONS, CONDITIONS, AND CLEARANCES PRIOR TO THE SUBMISSION OF SHOP DRAWINGS.
- "PROVIDE" AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS SHALL BE UNDERSTOOD TO MEAN TO INCLUDE FURNISH, INSTALL, AND FINISH COMPLETE AND READY FOR USE.
- WORK OF THE ENGINEERING DISCIPLINES IS SHOWN ON THE ARCHITECTURAL DRAWINGS FOR COORDINATION PURPOSES ONLY. REFER TO APPROPRIATE DISCIPLINE DRAWINGS FOR COMPLETE AND GOVERNING INFORMATION REGARDING THEIR WORK. INCOMPLETE, INCONSISTENT, OR MISSING ENGINEERING INFORMATION ON ARCHITECTURAL DRAWINGS SHALL NOT BE CONSTRUED AS BINDING FOR THAT WORK.
- DO NOT SCALE DRAWINGS, USE DIMENSIONS ONLY.
- REFER TO PROJECT MANUAL FOR SUPPLEMENTARY GENERAL CONDITIONS, DEBRIS REMOVAL AND SAFETY PRECAUTIONS.

RELATED WORK REQUIREMENTS

AREAS OF WORK IDENTIFIED ON DRAWINGS BY HATCHING ARE DIAGRAMMATIC INDICATIONS OF AREA OF WORK ONLY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PERFORMING WORK OUTSIDE OF THIS AREA AS REQUIRED BY OTHER DISCIPLINES INCLUDING BUT NOT LIMITED TO PLUMBING, MECHANICAL, ELECTRICAL, STRUCTURAL OR FIRE PROTECTION.

THE REQUIRED DEMOLITION SHALL NOT BE LIMITED TO THAT PORTION OF WORK SHOWN ON THE PLANS ALONE. WORK COINCIDENTAL THERETO WHICH IS NECESSARY TO ACCOMPLISH THE INTENT OF THE CONTRACT DOCUMENTS IS ALSO PART OF THE WORK.

ANY DEMOLITION WORK NECESSARY ON FLOORS ABOVE AND BELOW OR IN OTHER AREAS OUTSIDE OF IDENTIFIED SCOPE OF WORK SHALL BE SCHEDULED WITH THE OWNER. ANY FINISHES DISTURBED OR DAMAGED AS A RESULT OF DEMOLITION OR INSTALLATION SHALL BE PATCHED OR REPLACED TO MATCH EXISTING FINISHES.

COORDINATE AND DOCUMENT ALL IN-FLOOR, IN-WALL, IN-CEILING AND IN ROOF CONDUITS, PIPING, CONNECTIONS OR SPECIAL CONDITIONS AS DEMOLITION REVEALS EXISTING CONDITIONS.

EXISTING TO REMAIN FIRE RATED ASSEMBLIES

THE INTEGRITY OF REMAINING FIRE RATED ASSEMBLIES SHALL BE MAINTAINED/REPAIRED DURING DEMOLITION AND THROUGHOUT CONSTRUCTION. ANY HOLES OR OTHER OPENINGS EXISTING OR CREATED BY THE REMOVAL OF DOORS, FRAMES, PIPING, DUCT, CONDUIT OR ANY OTHER MATERIAL SHALL BE FILLED, PATCHED OR INFILLED WITH A UL TESTED SYSTEM OR WITH APPROPRIATELY RATED MATERIALS TO PREVENT THE PASSAGE OF FIRE AND SMOKE AS REQUIRED.

CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING FIRE PROTECTION AT COLUMNS, BEAMS AND OTHER EXISTING STEEL OR CONCRETE. PATCH/REPLACE ALL DAMAGED SPRAYED FIRE-PROOFING IN AREA OF WORK TO MEET REQUIRED RATINGS.

GENERAL LIFE SAFETY NOTES

- CONTRACTOR SHALL COORDINATE ACCESS ROUTES, DELIVERY, AND DEBRIS REMOVAL SCHEDULE WITH OWNER. AFTER HOUR ACCESS SHALL ALSO BE COORDINATED WITH OWNER. CONTRACTOR SHALL MAINTAIN SAFE, UNOBSTRUCTED EGRESS AT ALL TIMES AND PROTECT OCCUPANTS FROM CONSTRUCTION ACTIVITIES. REFER TO LIFE SAFETY & EGRESS PLANS.
- USC CAMPUS AND ALL FACILITIES ARE TOBACCO-FREE.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING FIRE AND LIFE SAFETY DEVICES DURING CONSTRUCTION - INCLUDES SMOKE DETECTORS, EMERGENCY LIGHTS, FIRE EXTINGUISHERS AND ALL OTHER LIFE SAFETY DEVICES IN CONSTRUCTION AREA. MAINTAIN RECORD OF EXISTING CONSTRUCTION INCLUDING LOCATION PLAN AND PHOTOGRAPHS FOR REVIEW AT COMPLETION OF CONSTRUCTION.
- FIRE EXTINGUISHERS ARE TO BE PROVIDED THROUGHOUT CONSTRUCTION AREA.
- ILLUMINATED EXIT SIGNS ARE TO BE PROVIDED THROUGHOUT CONSTRUCTION AREA-RELOCATE THROUGHOUT CONSTRUCTION PROCESS AS REQUIRED.
- EMERGENCY LIGHTING TO BE PROVIDED IN CONSTRUCTION AREA TO ALLOW EGRESS DURING A POWER OUTAGE.
- CONTRACTOR SHALL SECURE CONSTRUCTION SITE WHEN WORK COMPLETES EACH DAY.
- CONTRACTOR SHALL LIMIT COMBUSTIBLE LOAD.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY EXISTING CONSTRUCTION OR FINISHES AFFECTED BY TEMPORARY BARRIER CONSTRUCTION. LIMIT DAMAGE TO EXISTING FLOOR.

PROTECTION OF EXISTING

GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN RAM BOARD PANELS AND 6 MIL POLY BARRIER COMPLETE THROUGHOUT ALL CONTRACTOR ACCESS ROUTES, PATHWAYS TO TOILET, ACCESS TO DUMPSTER, ALONG CORRIDORS, AND ALL OTHER AREAS AFFECTED DURING DEMOLITION AND CONSTRUCTION. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT OF ALL EXISTING MATERIALS DAMAGED BY WORK PERFORMED IN THE SCOPE OF THIS PROJECT.

ABBREVIATIONS

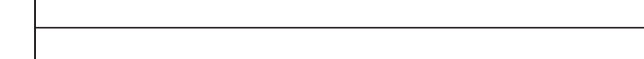
℄	CENTERLINE
CONC	CONCRETE
CUST	CUSTODIAL CLOSET
DN	DOWN
DWG	DRAWING
ELECT	ELECTRICAL CLOSET
EXIST	EXISTING FINISH TO REMAIN AS IS.
EXP-CONC	EXPOSED CONCRETE
MFG	MANUFACTURER
MECH	MECHANICAL ROOM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
P	PAINT
SS	SOLID SURFACE
VWC	VINYL WALLCOVERING

GENERAL DEMOLITION NOTES

- BEFORE BEGINNING CONSTRUCTION OR DEMOLITION ACTIVITIES THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AND VERIFY EXISTING CONDITIONS, COMPARE RESULTS WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS AND REPORT INCONSISTENCIES TO THE OWNER & ARCHITECT AT ONCE.
- DEMOLITION WORK WHICH REQUIRES ACCESS TO OCCUPIED SPACES OUTSIDE OF THE PROJECT AREA IS TO BE SCHEDULED WITH THE OWNER.
- THE EXTENT OF DEMOLITION INDICATED IS BASED ON RECORD DRAWINGS PROVIDED BY THE OWNER AND FIELD OBSERVATIONS. ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE INDICATED ARE TO BE BROUGHT TO THE ATTENTION OF OWNER & ARCHITECT AS SOON AS DISCREPANCIES ARE DISCOVERED.
- IF THE CONTRACTOR ENCOUNTERS MATERIAL BELIEVED TO BE ASBESTOS OR LEAD, HE SHALL IMMEDIATELY STOP WORK IN THE AFFECTED AREA AND REPORT THE CONDITION TO THE OWNER AND ARCHITECT IN WRITING. WORK IN THE AFFECTED AREA SHALL NOT BE RESUMED UNTIL AN AUTHORIZED AND LICENSED TESTING AGENCY AND/OR ABATEMENT CONTRACTOR HAS REMOVED OR DEEMED HARMLESS THE MATERIAL IN QUESTION AND PROVIDED DOCUMENTATION TO THAT EFFECT.
- THE CONTRACTOR SHALL INSPECT BOTH SIDES OF EXISTING WALLS, CEILINGS AND FLOOR ASSEMBLIES AND REPAIR/REPLACE AS REQUIRED TO MAINTAIN EXISTING RATINGS. REFER TO FIRE AND LIFE SAFETY PLAN FOR LOCATIONS OF RATED WALLS AND SMOKE RESISTIVE CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE NEW OPENINGS IN EXISTING WALLS OR FLOORS WITH APPLICABLE ELECTRICAL, MECHANICAL, FIRE PROTECTION, PLUMBING, EQUIPMENT AND/OR PIPING DRAWINGS.
- MATERIALS TO MATCH EXISTING CONSTRUCTION AND SEALANTS. ANY EQUIPMENT TO BE DECOMMISSIONED IS TO BE REMOVED IN ITS ENTIRETY, AND IS NOT TO BE LEFT INOPERABLE ABOVE THE CEILING OR INSIDE THE WALL CAVITIES.
- THE CONTRACTOR IS TO PROVIDE DUST PARTITIONS AND TACKY MATS AS NECESSARY AROUND DEMOLITION OR NEW CONSTRUCTION TO PROTECT THE OWNER'S OPERATIONS. DUST PARTITIONS SHALL BE OF 1-HOUR RATED NON-COMBUSTIBLE MATERIALS (INCLUDING DOORS AND FRAMES) AND MAINTAINED IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION.
- ALL REMAINING MATERIALS ADJACENT TO AREAS OF DEMOLITION ARE TO BE LEFT NEATLY PATCHED, PAINTED AND REPAIRED TO MATCH EXISTING FINISHES.
NOTE: FINISHES NEED TO EXTEND TO A LOGICAL STOPPING POINT I.E. CORNER, EDGE OF WALL, FLOOR, CEILING ETC.
- ITEMS TO BE REMOVED OF SALVAGEABLE VALUE ARE TO REMAIN THE PROPERTY OF THE OWNER TO BE DISPOSED OF AT HIS DISCRETION. ANY SALVAGEABLE ITEMS GIVEN TO THE CONTRACTOR MUST BE REMOVED FROM THE SITE. ITEMS TO REMAIN THE PROPERTY OF THE OWNER SHALL BE STORED ON-SITE BY THE CONTRACTOR AT THE OWNER'S DIRECTION.
- INTERIM FIRE-STOPPING IS TO BE PROVIDED FOR ALL ABANDONED OR NEWLY CREATED PENETRATIONS THROUGH THE EXISTING FLOOR SLAB OR STRUCTURAL DECK ABOVE AND SHALL BE MAINTAINED UNTIL PERMANENT FIRE-STOPPING IS IN PLACE. REFER TO PROJECT MANUAL FOR ADDITIONAL INTERIM REQUIREMENTS. THE LOCATION AND QUANTITY ADDRESSED IN THESE NOTES SHALL BE GENERALLY INFERRED BASED ON THE CONTENT AND EXTENT OF WORK DEPICTED IN THE DRAWINGS AND SPECIFICATIONS. EXTRAORDINARY CONDITIONS MAY BE IDENTIFIED DURING DEMOLITION AND WILL BE ADDRESSED AT THAT TIME.
- EXISTING FIRE-RATED ASSEMBLIES SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THIS PROJECT. REPAIR OF EXISTING HOLES, CRACKS OR OTHER BREACHES WITHIN WORK AREAS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REPAIRS SHALL CONFORM TO THE APPROPRIATE UL RATED ASSEMBLY CONSISTENT WITH THE REQUIRED RATING IN THE AREA OF CONSTRUCTION AND/OR ADJACENT AREAS.
- ALL EXISTING ITEMS SCHEDULED TO REMAIN (ANY DISCIPLINE) WHICH ARE EXPOSED TO DEMOLITION WORK SHALL BE PROTECTED OR TEMPORARILY REMOVED, STORED, AND PROTECTED.
- THE CONTRACTOR SHALL SCHEDULE ALL WORK INCLUDING ANY INTERRUPTION OF UTILITIES PRIOR TO THE START OF THE WORK, WITH THE OWNER. THE BUILDING SHALL REMAIN OCCUPIED AND IN USE DURING THE TIME THE WORK IS BEING PERFORMED.
- REMOVE ALL WALL-MOUNTED ACCESSORIES AND APPURTENANCES IN AREA OF RENOVATION, INCLUDING BUT NOT LIMITED TO CLOCKS, DISPLAY BOARDS, ALCOHOL DISPENSERS, ROOM SIGNAGE, TELEPHONES, ARTWORK, PLACARDS, ETC. SALVAGE FOR REINSTALLATION.
- PROTECT ALL FINISHES TO REMAIN. REPLACE/REPAIR ANY FINISHES DISTURBED BY DEMOLITION OR RENOVATION 'CORNER TO CORNER' IN A MANNER THAT ELIMINATES THE APPEARANCE OF PATCHING OR REPAIR.

GENERAL RENOVATION NOTES

- WHERE EXISTING RATED WALL ASSEMBLIES ARE MODIFIED TO ALLOW FOR NEW WORK THEY SHALL BE RECREATED TO MATCH RATED ASSEMBLY COMPONENTS. ANY REMOVAL, DAMAGE, OR EXISTING BREECES TO RATED WALL ASSEMBLIES SHALL BE REPAIRED OR REPLACED TO MAINTAIN EXISTING OR NEWLY PRESCRIBED RATINGS. REFER TO PARTITION NOTES AND SPECIFICATIONS.
- COMPLETELY PATCH, TRIM, BUSH, REPAIR, AND REFINISH ANY DAMAGED OR IMPERFECT COLUMNS, SURFACES, OR SIMILAR CONDITIONS AFFECTED PRIOR TO, DURING, OR AS A RESULT OF CONSTRUCTION OR DEMOLITION.
- DO NOT SCALE DRAWINGS, USE DIMENSIONS ONLY.
- DIMENSIONS ARE TYPICALLY SHOWN TO:
D.A. COLUMN CENTERLINES
D.B. FACE OF UNIT MASONRY
D.C. FACE OF FINISHED WALLS
- DIMENSIONS SHOWN AS EXISTING ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY IN FIELD DIMENSIONS, CONDITIONS, AND CLEARANCES PRIOR TO THE SUBMISSION OF SHOP DRAWINGS.
- "PROVIDE" AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS SHALL BE UNDERSTOOD TO MEAN TO INCLUDE FURNISH, INSTALL, AND FINISH COMPLETE AND READY FOR USE.
- REFER TO FLOOR FINISH PLAN AND FINISH SCHEDULE SHEET FOR ADDITIONAL DETAILS AND NOTES.
- EXISTING STRUCTURAL COLUMNS, BEAMS, FLOORS, AND FRAMING TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION U.N.O.
- REPAIR, PATCH, PRIME, AND PAINT 'CORNER TO CORNER' EXISTING WALLS WHERE ARCHITECTURAL, PLUMBING, MECHANICAL, AND/OR ELECTRICAL ITEMS HAVE BEEN REMOVED.



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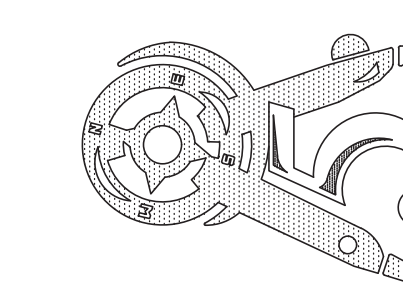
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Project Number: 19USC01

AS-BUILT 09-26-18
For Bidding 02-15-19

CODE, GENERAL NOTES AND LEGEND

Date: 02.15.19
Drawn: IAP
Checked: MEC

T1.2



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1329 State Street Cayce, SC 29033
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GENERAL FINISH NOTES	
<p>1. ALL INTERIOR AND INTERIOR FACES OF EXTERIOR DOORS, DOOR FRAMES, TRIM AND RELATED ITEMS TO BE P-7 COMPLETE, UNLESS NOTED OTHERWISE. MASK OFF AND DO NOT PAINT DOOR HARDWARE. PATCH EXISTING DENTS, DINGS, HOLES, FRAMES PRIOR TO PAINTING.</p> <p>2. ANY CUT, PATCH, DAMAGED, OR UNSIGHTLY WALL CONDITION SHALL BE PATCHED AND PAINTED FROM 'CORNER TO CORNER; TO INCLUDE THE ENTIRE WALL. REFER TO SPECIFICATION.</p> <p>3. ALL NEWLY PAINTED GWB SURFACES TO RECEIVE INTERIOR GWB PRIMER #45 & TWO COATS INTERIOR EG-SHELL SEE SCHEDULE IN SPECIFICATIONS.</p> <p>4. ALL FINISHES TO BE COORDINATED WITH OWNER AND ARCHITECT IN A 'FINISHES COORDINATION MEETING' PRIOR TO DEMOLITION.</p> <p>5. FINISHES ARE TO BE INSTALLED PER MANUFACTURER'S COMPREHENSIVE WRITTEN INSTRUCTIONS.</p> <p>6. ROOM NAMES AND NUMBERS ARE FOR CONSTRUCTION PURPOSES ONLY.</p> <p>7. ALL VERTICAL FACES OF DRYWALL SOFFITS TO BE PAINTED AND FINISHED TO MATCH ROOM PAINT COLOR, UNO. ALL HORIZONTAL FACES OF DRYWALL SOFFITS TO BE PAINTED AND FINISHED TO MATCH CEILING COLOR, UNO. REFER TO FINISH PLANS.</p> <p>8. REFER TO SPECIFICATIONS FOR DETAILED INFORMATION REGARDING FINISH MATERIALS.</p> <p>9. FURNITURE, EQUIPMENT AND FIXTURES ARE SHOWN FOR REFERENCE ONLY TO COORDINATE MOVE SCOPE.</p> <p>10. SEE LEGENDS FOR CEILING HEIGHTS.</p>	

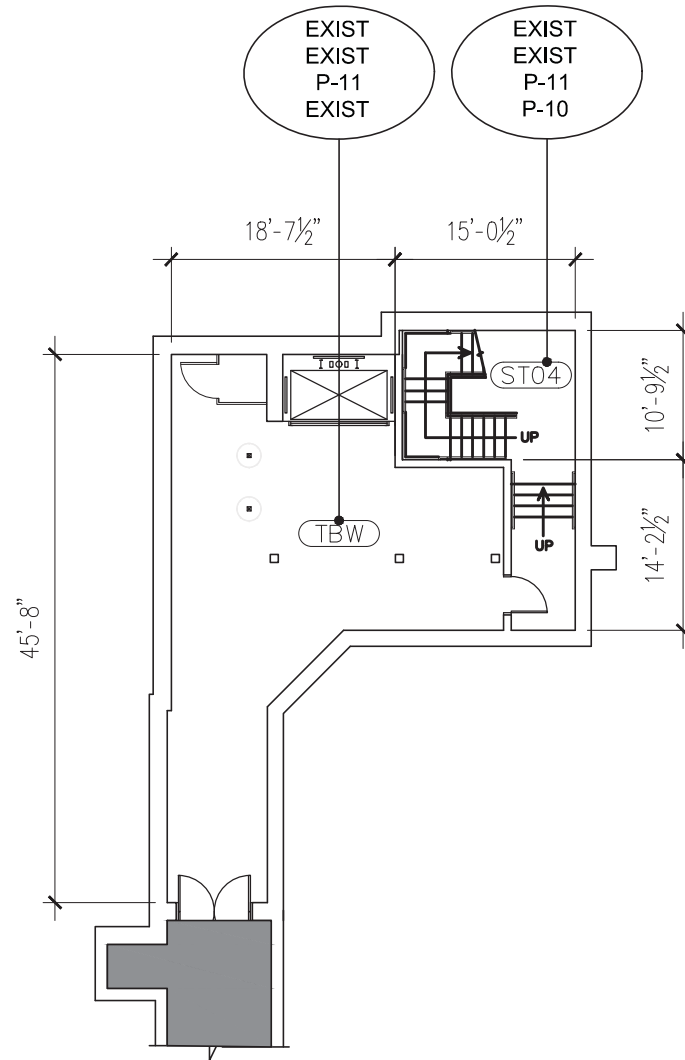
FINISH NOTES	
<p>1. GC TO PROVIDE FULL FINISH SCHEDULE TO ARCHITECT FOR REVIEW PRIOR TO PROCEEDING.</p> <p>2. ALL WALLS ARE TO BE PREPPED FOR LEVEL 5 FINISH. COORDINATE WITH MANUFACTURER.</p> <p>3. GC TO MEET WITH MANUFACTURER WEEKLY TO ENSURE FINISHES ARE INSTALLED PER MANUFACTURER'S COMPREHENSIVE WRITTEN INSTRUCTIONS.</p> <p>4. PATCH, ALL WALLS IN ALL BATHROOMS APPROXIMATELY 10SF EACH BATHROOM.</p> <p>5. GC TO ENSURE ALL SPACES ARE FULLY CLEANED AND READY FOR OCCUPANCY COMPLETE AFTER ALL WORK IS DONE SEE SPECIFICATIONS.</p> <p>6. GC IS TO PROTECT ALL EXISTING FLOORING, FIXTURES AND FURNITURE IN ALL SPACES COMPLETE.</p> <p>7. GC IS TO REMOVE ALL WALL MOUNTED ITEMS SUCH AS SIGNAGE, WINDOW BLINDS, WHITE BOARDS, TACK BOARDS, BLACK BOARDS, ALL ELECTRICAL COVER PLATES ETC. COMPLETE. LABEL AND STORE FOR REINSTALLATION.</p> <p>8. GC IS TO REINSTALL ALL STORED ITEMS COMPLETE COORDINATE LOCATION WITH OWNER IF NEW LOCATIONS ARE DESIRED.</p> <p>9. ALL FURNITURE IN ALL ROOMS IS TO REMAIN IN THE BUILDINGS. GC IS TO MOVE AND PROTECT AS REQUIRED FOR FINISH INSTALLATION. REFER TO 1ST FLOOR, BUILDING C, SHEET ID2.9 FOR TYPICAL FURNITURE LAYOUT. GC IS TO MOVE FURNITURE BACK IN ITS ORIGINAL LOCATIONS AFTER COMPLETION OF WORK COMPLETE. SEE SPECIFICATIONS FOR PROFESSIONAL MOVING REQUIREMENTS.</p> <p>10. GC IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING FINISHES, EQUIPMENT, APPLIANCES, FURNITURE, FLOORS, WALL BASE, MILLWORK, ELEVATOR CABS, STAIRWELLS ETC. COMPLETE.</p> <p>11. GC IS TO REMOVE ALL CORNER GUARDS AND LABEL COMPLETE. REINSTALL ALL CORNER GUARDS AFTER PAINTING IS DONE COMPLETE. PROVIDE NEW CORNER GUARDS AS LABELED COMPLETE. REFER TO FINISH PLANS AND MATERIAL LEGEND.</p> <p>12. GC IS TO PROVIDE NEW FINISHES AT ALL WALLS, CEILINGS, TRIM, WINDOW SILLS, DOORS, DOOR FRAMES, ELEVATORS, STAIR DOORS, DOORS TO OUT OF SCOPE AREAS, EXIT DOORS, STAIRS, RAILINGS, ACCESS PANELS, WIRE MOLDING, WALL BASE, STRINGERS, AND ALL THE PREVIOUSLY PAINTED ITEMS IN ALL SPACES IN ALL BUILDINGS COMPLETE UNO. REFER TO FINISH PLANS AND SCHEDULE AND MATERIAL LEGEND.</p> <p>13. PROVIDE CORNER GUARDS COMPLETE. REFER TO FINISH PLANS AND SCHEDULES AND MATERIAL LEGENDS.</p> <p>14. REMOVE TEMPORARY VINYL DOOR AND DOORFRAME LABELS COMPLETE.</p> <p>15. SEE SPEC SECTION 099123 INTERIOR PAINTING FOR A COMPLETE LIST OF ITEMS AND SURFACES TO BE PAINTED.</p>	

MATERIAL LEGEND	
NOTE: CONTRACTOR TO PROVIDE BENCHMARK MOCK-UP OF EACH PAINT SYSTEM TO BE APPROVED BY USC INTERIOR DESIGNER. DO NOT PROCEED WITH REMAINING WORK UNTIL MOCK-UPS ARE APPROVED.	
CODE	SPECIFICATION
P-1	MFG: ROSE TALBERT COLOR: COLOR MATCH SW7050 USEFUL GRAY (SHERWIN WILLIAMS) FINISH: 200 PREMIUM HIGH PERFORMANCE BONDAPLEX - LOW LUSTRE LOCATION: TYPICAL CORRIDORS, LOBBIES, D BUILDING TYPICAL (EXCEPT WHERE NOTED), PUBLIC BATHROOMS, CLASSROOMS, STUDY LOUNGES, PUBLIC KITCHENS ADJACENT TO STUDY, OFFICES & STAIRWELLS
P-2	MFG: ROSE TALBERT COLOR: 0363 MISSION HILLS FINISH: 200 PREMIUM HIGH PERFORMANCE BONDAPLEX - LOW LUSTRE LOCATION: TYPICAL RESIDENT LIVING ROOM, KITCHEN, HALLWAY, BATHROOM & BEDROOMS
P-3	MFG: ROSE TALBERT COLOR: 0697 ARIZONA STONE FINISH: 200 PREMIUM HIGH PERFORMANCE BONDAPLEX - LOW LUSTRE LOCATION: ACCENT 1 - PER FINISH PLANS
P-4	MFG: ROSE TALBERT COLOR: COLOR MATCH SW6915 CITRONELLA (SHERWIN WILLIAMS) FINISH: 200 PREMIUM HIGH PERFORMANCE BONDAPLEX - LOW LUSTRE LOCATION: ACCENT 2 - PER FINISH PLANS
P-5	MFG: ROSE TALBERT COLOR: AC090N RAINFOREST TEAL FINISH: 200 PREMIUM HIGH PERFORMANCE BONDAPLEX - LOW LUSTRE LOCATION: ACCENT 3 - PER FINISH PLANS
P-6	MFG: ROSE TALBERT COLOR: 0465 EARTHEN CHEER FINISH: 200 PREMIUM HIGH PERFORMANCE BONDAPLEX - LOW LUSTRE LOCATION: ACCENT 4 - PER FINISH PLANS
P-7	MFG: ROSE TALBERT COLOR: 0011 SUGAR DUST FINISH: 300 PREMIUM ALKYD SEMI-GLOSS ENAMEL LOCATION: PREVIOUSLY PAINTED; DOORS / DOOR FRAMES, ELEVATOR DOORS / DOOR FRAMES, WOOD WINDOW SILL / TRIM, WOOD BASEBOARD, CHAIR-RAIL, AND CROWN MOLDING, GRILLS, VENT COVERS, INTERIOR STOREFRONTS, AND CLOSET SHELVEING
P-8	MFG: ROSE TALBERT COLOR: COLOR MATCH SW7069 IRON ORE (SHERWIN WILLIAMS) FINISH: 9072 HIGH SOLIDS PHENOLIC GRAY PRIMER LOCATION: METAL STAIR RAILING, PICKETS, SKIRTING, STRINGERS, RISERS, UNDERSIDE OF METAL STAIRS, AND ALL EXPOSED METAL THAT HAS BEEN PREVIOUSLY PAINTED IN STAIRWELLS
P-9	MFG: ROSE TALBERT COLOR: 0011 SUGAR DUST FINISH: 5500 VINYL LATEX FLAT LOCATION: TYPICAL LOW TEXTURE SOFFITS AND CEILINGS, AND TYPICAL SMOOTH SOFFITS AND CEILINGS (EXCEPT WHERE NOTED P-10)
P-10	MFG: ROSE TALBERT COLOR: 0011 SUGAR DUST FINISH: 1600 PREMIUM HIGH PERFORMANCE BONDAPLEX FLAT LOCATION: SMOOTH CEILINGS IN LAUNDRY, CUSTODIAL, TRASH ROOMS, MECHANICAL/EQUIPMENT, STAIRWELLS, PUBLIC & RESIDENT BATHROOMS
P-11	MFG: ROSE TALBERT COLOR: COLOR MATCH SW7050 USEFUL GRAY (SHERWIN WILLIAMS) FINISH: 1400 PREMIUM HIGH PERFORMANCE BONDAPLEX GLOSS LOCATION: LAUNDRY, CUSTODIAL, TRASH ROOMS, AND MECHANICAL/EQUIPMENT ROOMS
CG-1	INPRO - 160 SERIES CORNER GUARD 90 DEGREE, 2" WING, RIGID VINYL W ALUMINUM RETAINER. COLOR WHITE SAND 0103

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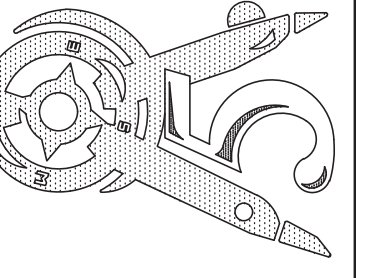
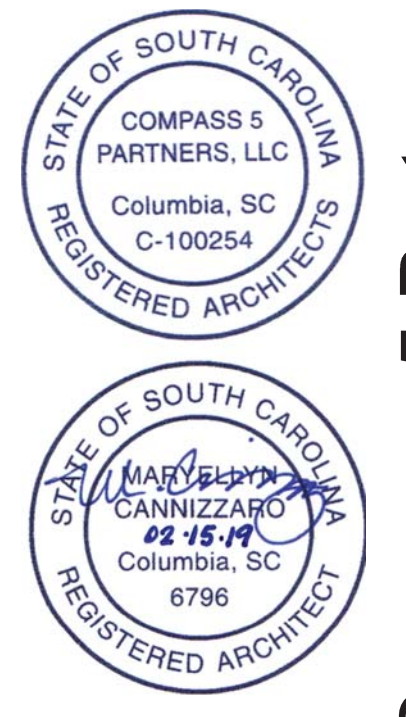
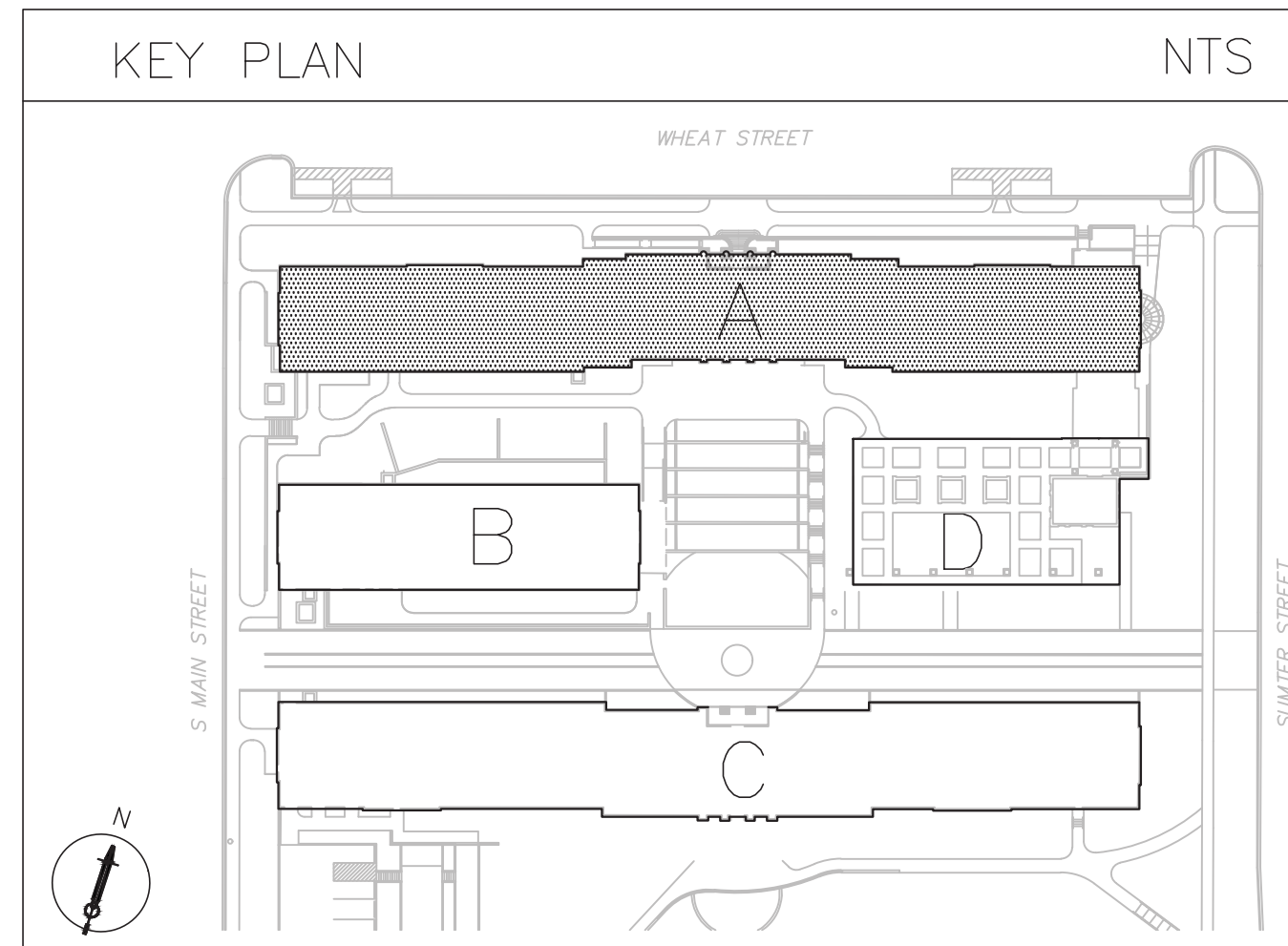
University of South Carolina
Green Quad Residence Hall & Learning Center
Interior Painting Maintenance USC Project # 50003341-2
Columbia, SC

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Project Number:	19USC01
AS-BUILT	09-26-18
For Bidding	02-15-19
FINISH NOTES AND LEGEND	
Date:	02.15.19
Drawn:	IAP
Checked:	MEC
T1.3	



 **A1** TRASH COLLECTION BASEMENT - BUILDING A - FINISH PLAN

SCALE: 1/16" = 1'-0"



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Green Quad Residence Hall & Learning Center
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 Columbia, SC

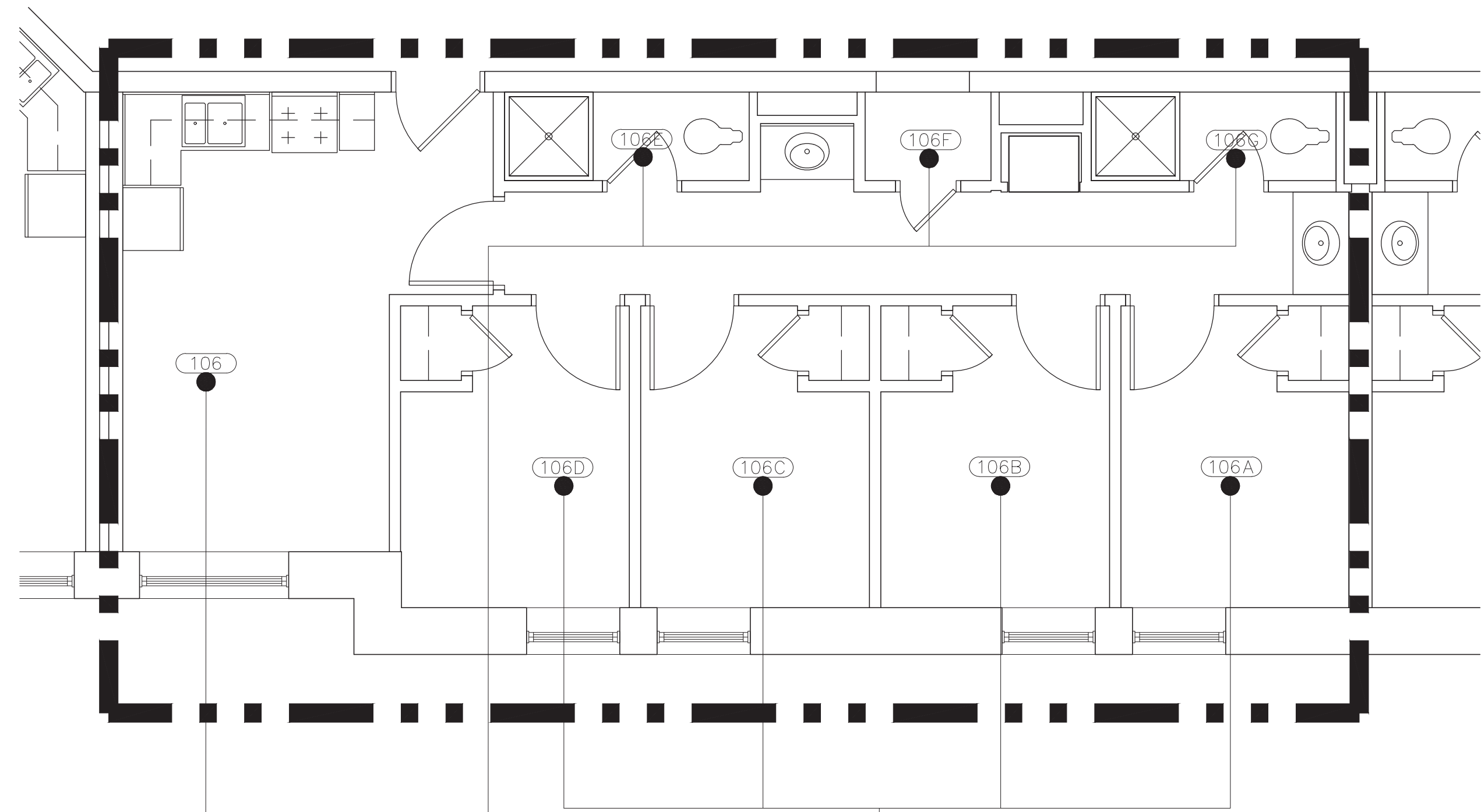
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 Project Number: 19USC01

For Bidding 02-15-19

**A - BASEMENT
 FINISH PLAN**

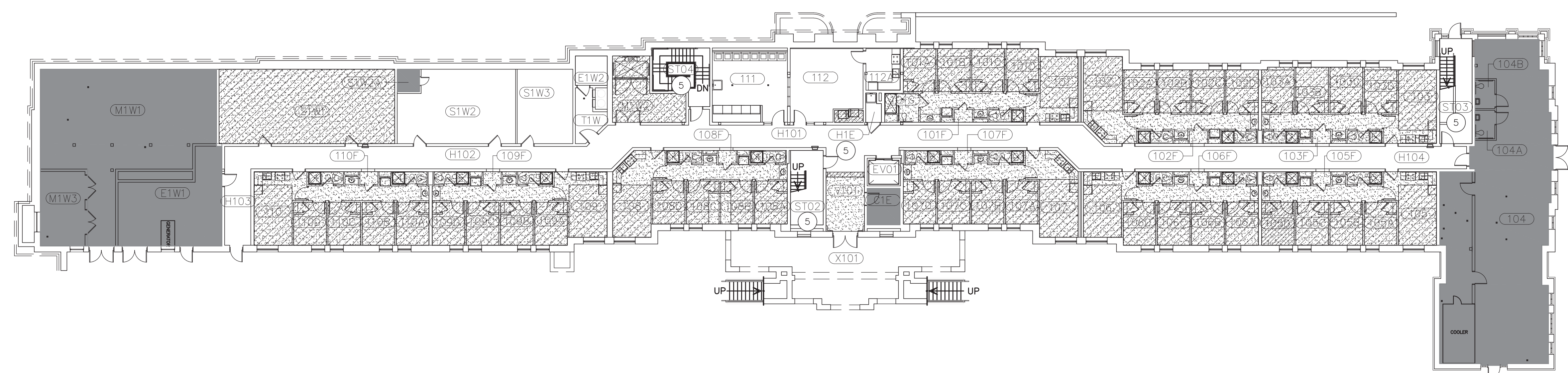
Date: 02.15.19
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 Checked: MEC

ID2.0

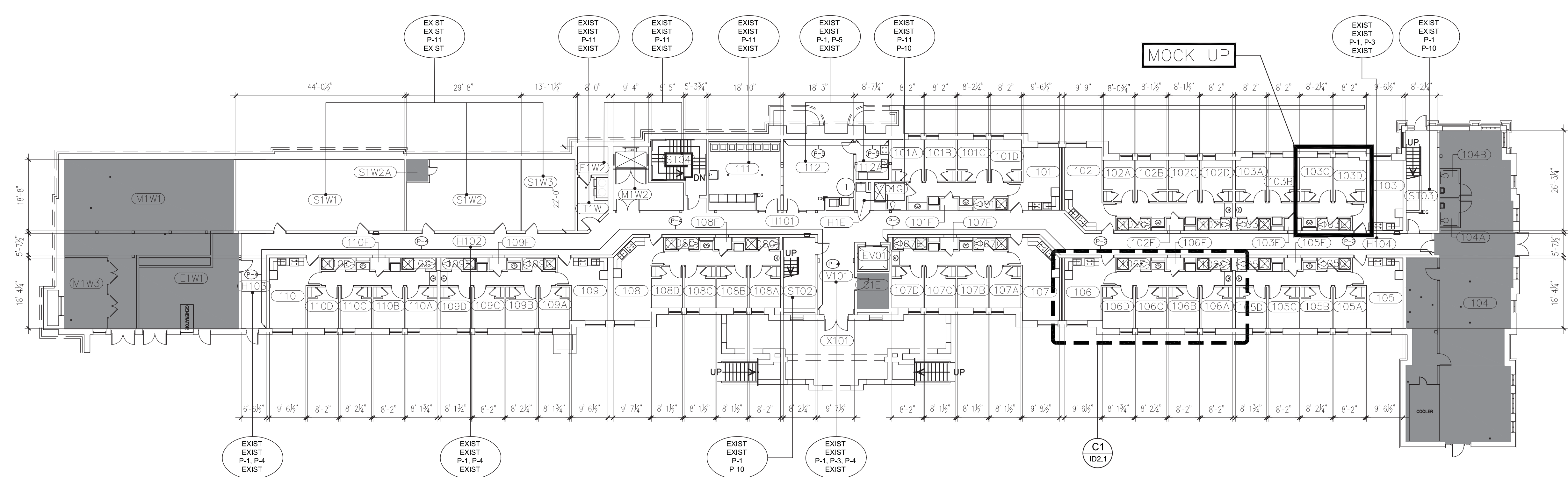


- EXIST EXIST P-2 P-9
- EXIST EXIST P-2 P-10
- EXIST EXIST P-2 P-9

C1 TYPICAL APARTMENT BUILDING A
 TYPICAL FOR APARTMENTS: 101, 102, 103, 105, 106, 107, 108, 109, 110. SCALE: 1/4" = 1'-0"



B1 1ST FLOOR BUILDING A - REFLECTED CEILING PLAN
 SCALE: 1/16" = 1'-0"



A1 1ST FLOOR BUILDING A - FINISH PLAN
 SCALE: 1/16" = 1'-0"

KEYED RENOVATION NOTES

- 1 MOP SINK DESIGNATED FOR CONTRACTOR CLEAN UP.
- 2 AT ACCENT WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING SAME PAINT COLOR AS ACCENT WALL COMPLETE.
- 3 AT ALL WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING PAINT COLOR P-7 COMPLETE.
- 4 PAINT ALL SOFFITS COMPLETE. PAINT SIDES AND BOTTOMS OF ALL SOFFITS. REFER TO GENERAL FINISH NOTE 7.
- 5 PAINT ALL UNDERSIDE OF STAIRS EXPOSED STRUCTURAL DECK, STRINGERS AND ALL EXPOSED METAL STAIR PARTS COMPLETE.
- 6 REMOVE BUILT-IN BOXED TV, REPLACE/REPAIR DRYWALL SURFACE PATCH, PRIME AND PAINT.
- 7 PAINT ALL COLUMNS COLOR P-1
- 8 NOT USED.
- 9 PAINT INSIDE BACKS, SHELVES, TRIM OF BOOKCASES COLOR P-3. PAINT MILLWORK TRIM & MANTEL COLOR P-7 COMPLETE.
- 10 PAINT SOFFITS BOTTOM AND SIDES COLOR P-6.
- 11 PAINT LIGHT WELLS IN ENTIRETY INCLUDING SOFFIT BOTTOM & SIDES BELOW COLOR P-1

LEGEND

- X-X" HEIGHT ABOVE FINISHED FLOOR
- GWB CEILING. 8' A.F.F. UNO.
- TEXTURED GWB CEILING. 10' A.F.F. UNO.
- EXISTING ACT/EXPOSED DECK TO REMAIN. NO PAINT. UNO

MOCK UPS

CONTRACTOR TO PROVIDE BENCHMARK MOCK-UP OF EACH PAINT SYSTEM TO BE APPROVED BY USC INTERIOR DESIGNER. DO NOT PROCEED WITH REMAINING WORK UNTIL MOCK-UPS ARE APPROVED.

PROVIDE MOCK UP OF SELECTED AREA IN EACH BUILDING. REFER TO PLANS.

ALL SPACES AND ITEMS IN SCOPE OF WORK ARE TO BE A MATCH TO MOCK UP QUALITY OF CONSTRUCTION.

TYPICAL RESIDENT APARTMENT RENOVATION FINISHES

GC TO MOVE FURNITURE AND APPLIANCES TO CENTER OF ALL ROOMS COMPLETE. COVER ALL FURNITURE AND PROTECT DURING CONSTRUCTION.

PROVIDE FINISHES IN ALL ROOMS, BATHROOMS, INTERNAL CORRIDORS, VANITIES AND CLOSETS COMPLETE. PAINT ALL SOFFITS, DOORS, DOOR FRAMES AND TRIM COMPLETE. PROVIDE TYPICAL FINISHES IN ALL APARTMENTS ON ALL FLOORS COMPLETE.

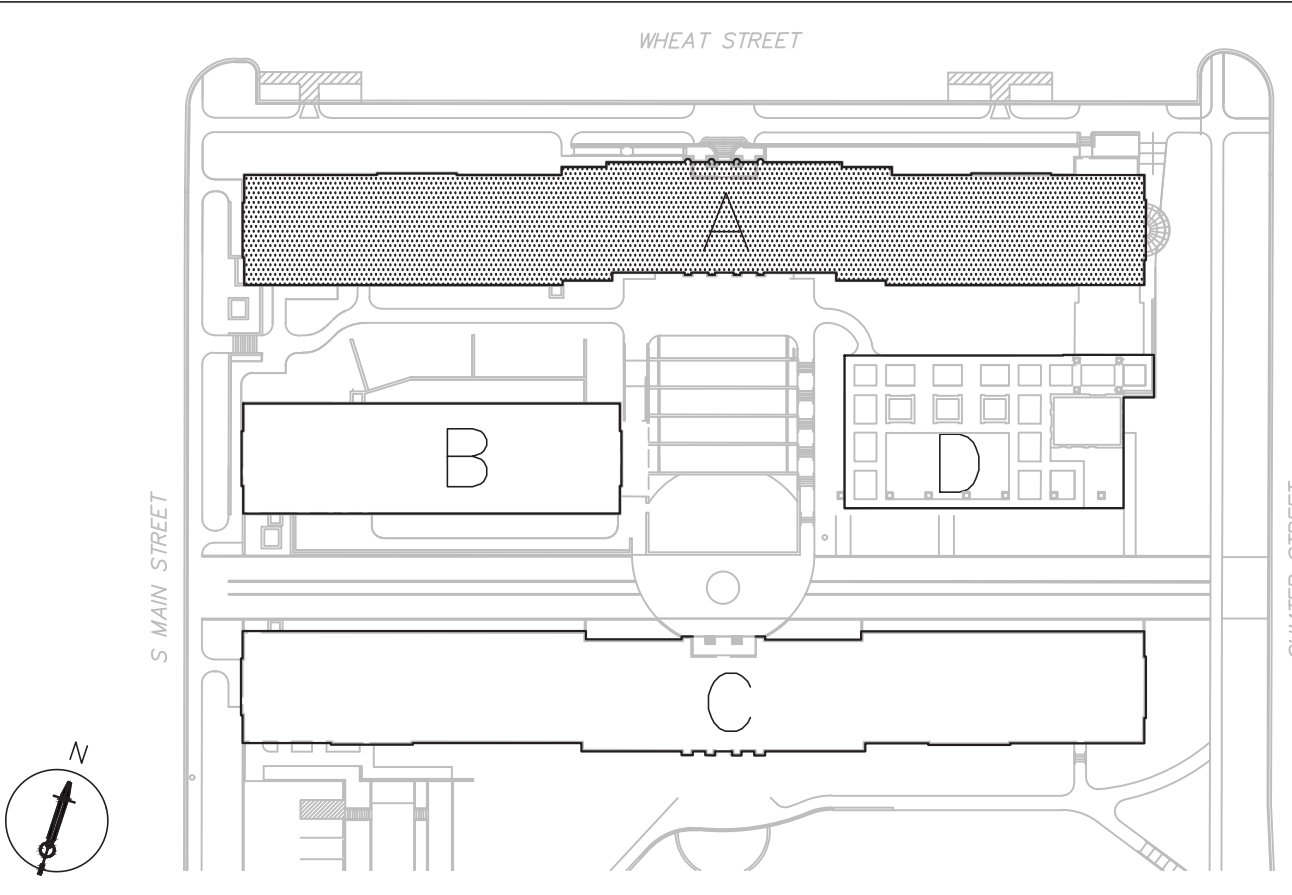
FINISHES SHOWN ON ENLARGED RESIDENT APARTMENT PLAN ARE TYPICAL FOR APARTMENTS: 101, 102, 103, 105, 106, 107, 109, 110.

REFER TO ENLARGED TYPICAL RESIDENT APARTMENT PLAN ON ID2.1 FOR TYPICAL FINISHES.

FIELD VERIFY

GC SHALL VERIFY IN FIELD ALL DIMENSIONS AND EXISTING CONDITION PRIOR TO RENOVATION.

KEY PLAN NTS



Compass 5 Partners, LLC
 1329 State Street Cayce, SC 29033
 803 765 0838 compass5partners.com

STATE OF SOUTH CAROLINA
 COMPASS 5 PARTNERS, LLC
 Columbia, SC
 C-100254
 REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
 MARCO ANTONIO CANNIZZARO
 42 15 17
 Columbia, SC
 6796
 REGISTERED ARCHITECT

University of South Carolina
Green Quad Residence Hall & Learning Center
Interior Painting Maintenance USC Project # 50003341-2
 Columbia, SC

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 Project Number: 19USC01

For Bidding: 02-15-19

A - 1ST FLOOR FINISH PLAN

Date: 02.15.19
 Drawn: IAP
 Checked: MEC

ID2.1

KEYED RENOVATION NOTES

- 1 MOP SINK DESIGNATED FOR CONTRACTOR CLEAN UP.
- 2 AT ACCENT WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING SAME PAINT COLOR AS ACCENT WALL COMPLETE.
- 3 AT ALL WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING PAINT COLOR P-7 COMPLETE.
- 4 PAINT ALL SOFFITS COMPLETE. PAINT SIDES AND BOTTOMS OF ALL SOFFITS. REFER TO GENERAL FINISH NOTE 7.
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- 7 PAINT ALL COLUMNS COLOR P-1
- 8 NOT USED.
- 9 PAINT INSIDE BACKS, SHELVES, TRIM OF BOOKCASES COLOR P-3. PAINT MILLWORK TRIM & MANTEL COLOR P-7 COMPLETE.
- 10 PAINT SOFFITS BOTTOM AND SIDES COLOR P-6.
- 11 PAINT LIGHT WELLS IN ENTIRETY INCLUDING SOFFIT BOTTOM & SIDES BELOW COLOR P-1

LEGEND

- X-X" HEIGHT ABOVE FINISHED FLOOR
- GWB CEILING. 8' A.F.F. UNO.
- TEXTURED GWB CEILING. 10' A.F.F. UNO.
- EXISTING ACT/EXPOSED DECK TO REMAIN. NO PAINT. UNO

TYPICAL RESIDENT APARTMENT RENOVATION FINISHES

FINISHES SHOWN ON ENLARGED RESIDENT APARTMENT PLAN ARE TYPICAL FOR APARTMENTS: 201, 202, 203, 204, 205, 206, 207, 209, 210, 211, 212, 213, 214.

REFER TO ENLARGED TYPICAL RESIDENT APARTMENT PLAN AND NOTES ON ID2.1 FOR TYPICAL FINISHES.

FIELD VERIFY

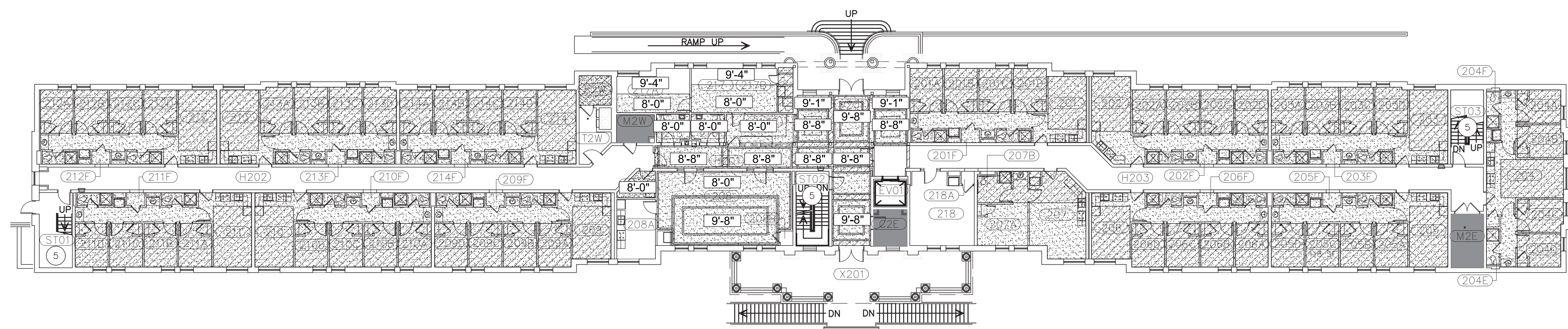
GC SHALL VERIFY IN FIELD ALL DIMENSIONS AND EXISTING CONDITION PRIOR TO RENOVATION.

MOCK UPS

CONTRACTOR TO PROVIDE BENCHMARK MOCK-UP OF EACH PAINT SYSTEM TO BE APPROVED BY USC INTERIOR DESIGNER. DO NOT PROCEED WITH REMAINING WORK UNTIL MOCK-UPS ARE APPROVED.

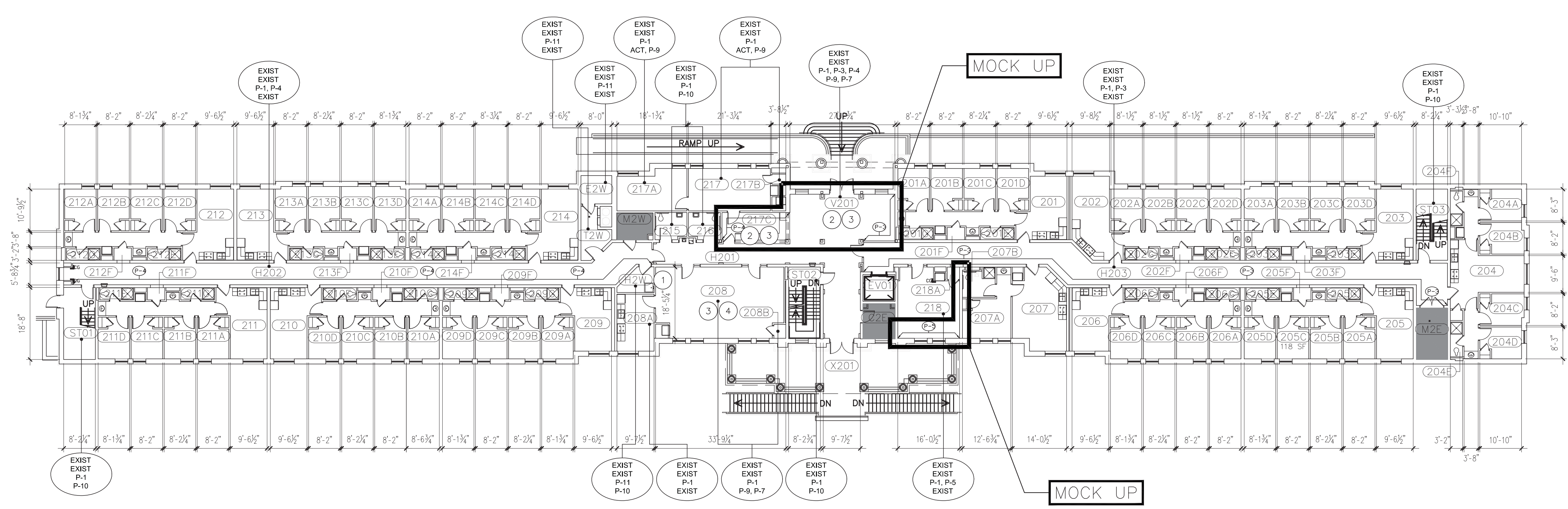
PROVIDE MOCK UP OF SELECTED AREA IN EACH BUILDING. REFER TO PLANS.

ALL SPACES AND ITEMS IN SCOPE OF WORK ARE TO BE A MATCH TO MOCK UP QUALITY OF CONSTRUCTION.



B1 2ND FLOOR BUILDING A - REFLECTED CEILING PLAN

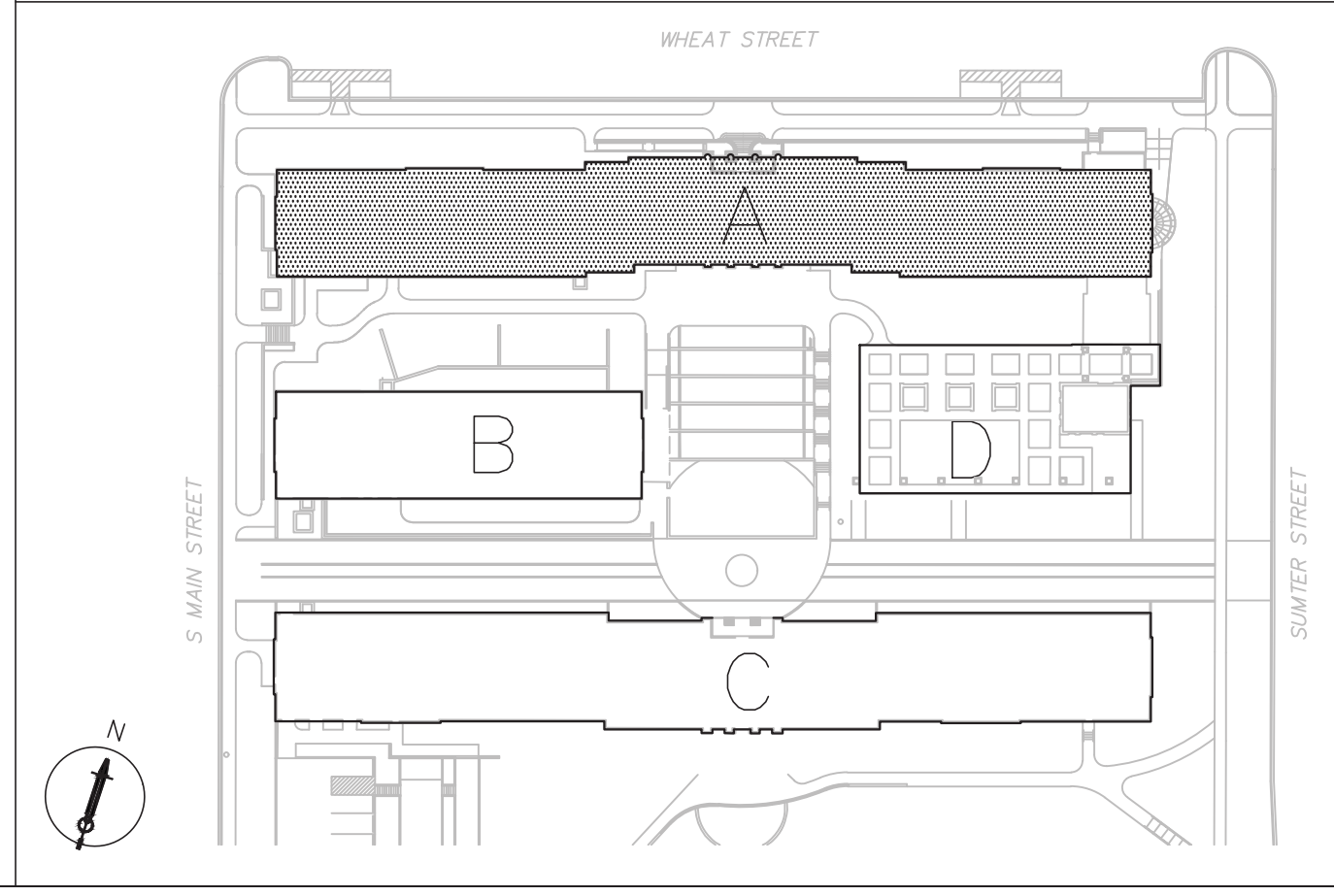
SCALE: 1/16" = 1'-0"



A1 2ND FLOOR BUILDING A - FINISH PLAN

SCALE: 1/16" = 1'-0"

KEY PLAN



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A - 2ND FLOOR FINISH PLAN

Date: 02.15.19
 Drawn: IAP
 Checked: MEC

ID2.2

KEYED RENOVATION NOTES

- 1 MOP SINK DESIGNATED FOR CONTRACTOR CLEAN UP.
- 2 AT ACCENT WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING SAME PAINT COLOR AS ACCENT WALL COMPLETE.
- 3 AT ALL WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING PAINT COLOR P-7 COMPLETE.
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- 8 NOT USED.
- 9 PAINT INSIDE BACKS, SHELVES, TRIM OF BOOKCASES COLOR P-3. PAINT MILLWORK TRIM & MANTEL COLOR P-7 COMPLETE.
- 10 PAINT SOFFITS BOTTOM AND SIDES COLOR P-6.
- 11 PAINT LIGHT WELLS IN ENTIRETY INCLUDING SOFFIT BOTTOM & SIDES BELOW COLOR P-1

LEGEND

- X-X" HEIGHT ABOVE FINISHED FLOOR
- GWB CEILING. 8' A.F.F. UNO.
- TEXTURED GWB CEILING. 10' A.F.F. UNO.
- EXISTING ACT/EXPOSED DECK TO REMAIN. NO PAINT. UNO

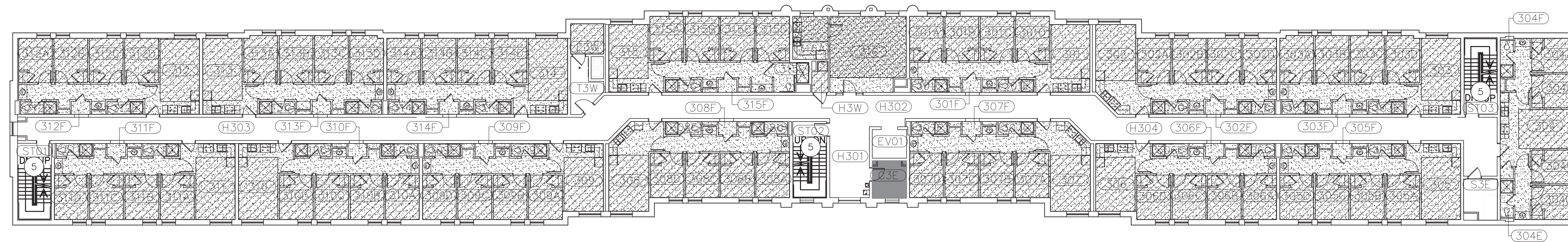
TYPICAL RESIDENT APARTMENT RENOVATION FINISHES

FINISHES SHOWN ON ENLARGED RESIDENT APARTMENT PLAN ARE TYPICAL FOR APARTMENTS: 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315.

REFER TO ENLARGED TYPICAL RESIDENT APARTMENT PLAN AND NOTES ON ID2.1 FOR TYPICAL FINISHES.

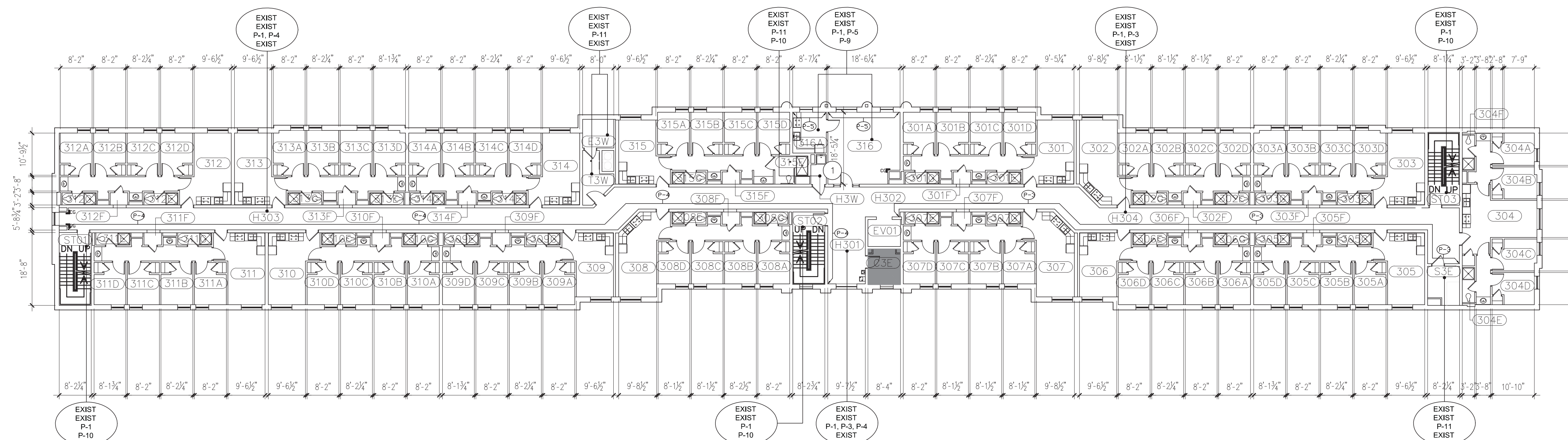
FIELD VERIFY

GC SHALL VERIFY IN FIELD ALL DIMENSIONS AND EXISTING CONDITION PRIOR TO RENOVATION.



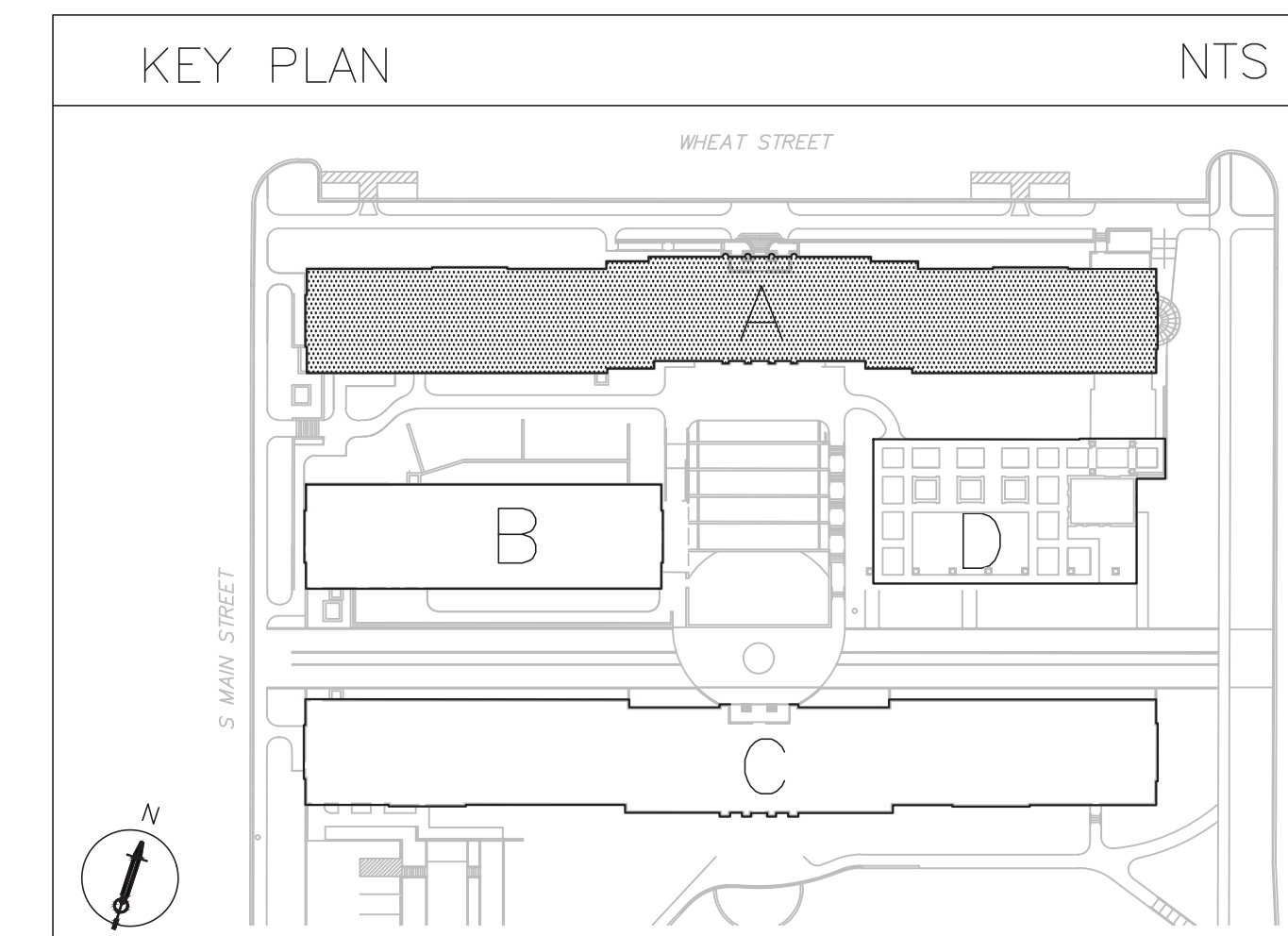
B1 3RD FLOOR BUILDING A - REFLECTED CEILING PLAN

SCALE: 1/16" = 1'-0"

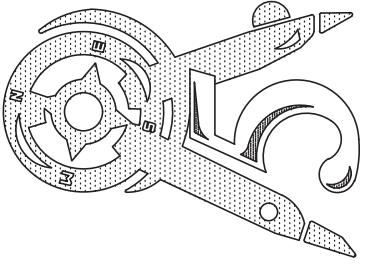


A1 3RD FLOOR BUILDING A - FINISH PLAN

SCALE: 1/16" = 1'-0"



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University of South Carolina

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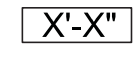
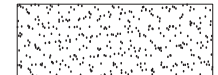
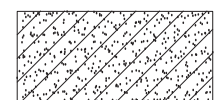

A - 3RD FLOOR FINISH PLAN

Date: 02.15.19
 Drawn: IAP
 Checked: MEC
ID2.3

KEYED RENOVATION NOTES

- 1 MOP SINK DESIGNATED FOR CONTRACTOR CLEAN UP.
- 2 AT ACCENT WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING SAME PAINT COLOR AS ACCENT WALL COMPLETE.
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- 4 PAINT ALL SOFFITS COMPLETE. PAINT SIDES AND BOTTOMS OF ALL SOFFITS. REFER TO GENERAL FINISH NOTE 7.
- 5 PAINT ALL UNDERSIDE OF STAIRS EXPOSED STRUCTURAL DECK, STRINGERS AND ALL EXPOSED METAL STAIR PARTS COMPLETE.
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- 7 PAINT ALL COLUMNS COLOR P-1
- 8 NOT USED.
- 9 PAINT INSIDE BACKS, SHELVES, TRIM OF BOOKCASES COLOR P-3. PAINT MILLWORK TRIM & MANTEL COLOR P-7 COMPLETE.
- 10 PAINT SOFFITS BOTTOM AND SIDES COLOR P-6.
- 11 PAINT LIGHT WELLS IN ENTIRETY INCLUDING SOFFIT BOTTOM & SIDES BELOW COLOR P-1

LEGEND

-  HEIGHT ABOVE FINISHED FLOOR
-  GWB CEILING. 8' A.F.F. UNO.
-  TEXTURED GWB CEILING. 10' A.F.F. UNO.
-  EXISTING ACT/EXPOSED DECK TO REMAIN. NO PAINT. UNO.

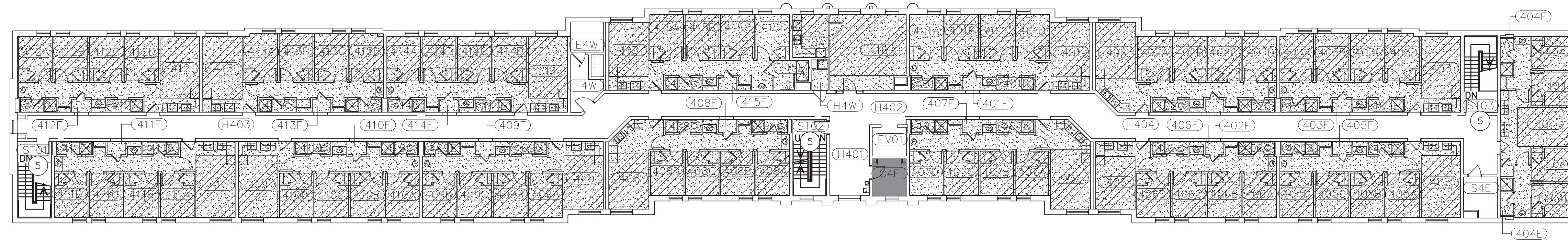
TYPICAL RESIDENT APARTMENT RENOVATION FINISHES

FINISHES SHOWN ON ENLARGED RESIDENT APARTMENT PLAN ARE TYPICAL FOR APARTMENTS: 401, 402, 403, 404, 405, 406, 407, 409, 410, 411, 412, 413, 414.

REFER TO ENLARGED TYPICAL RESIDENT APARTMENT PLAN AND NOTES ON ID2.1 FOR TYPICAL FINISHES.

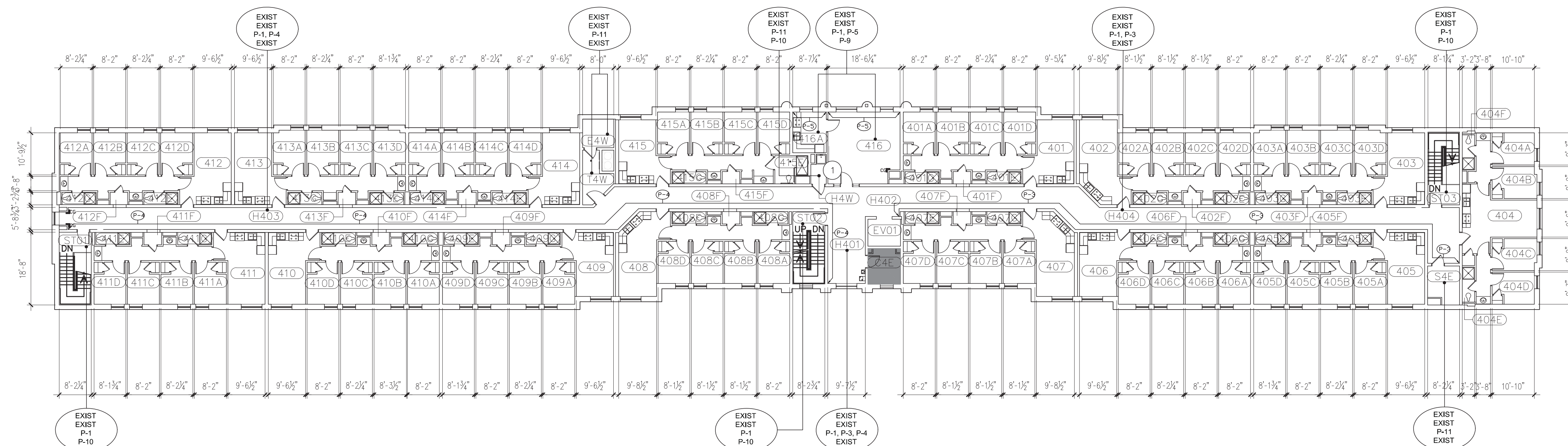
FIELD VERIFY

GC SHALL VERIFY IN FIELD ALL DIMENSIONS AND EXISTING CONDITION PRIOR TO RENOVATION.



B1 4TH FLOOR BUILDING A - REFLECTED CEILING PLAN

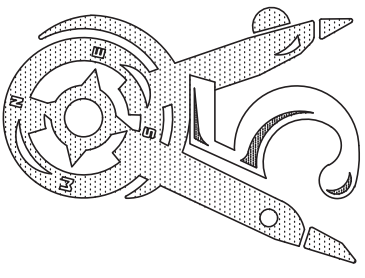
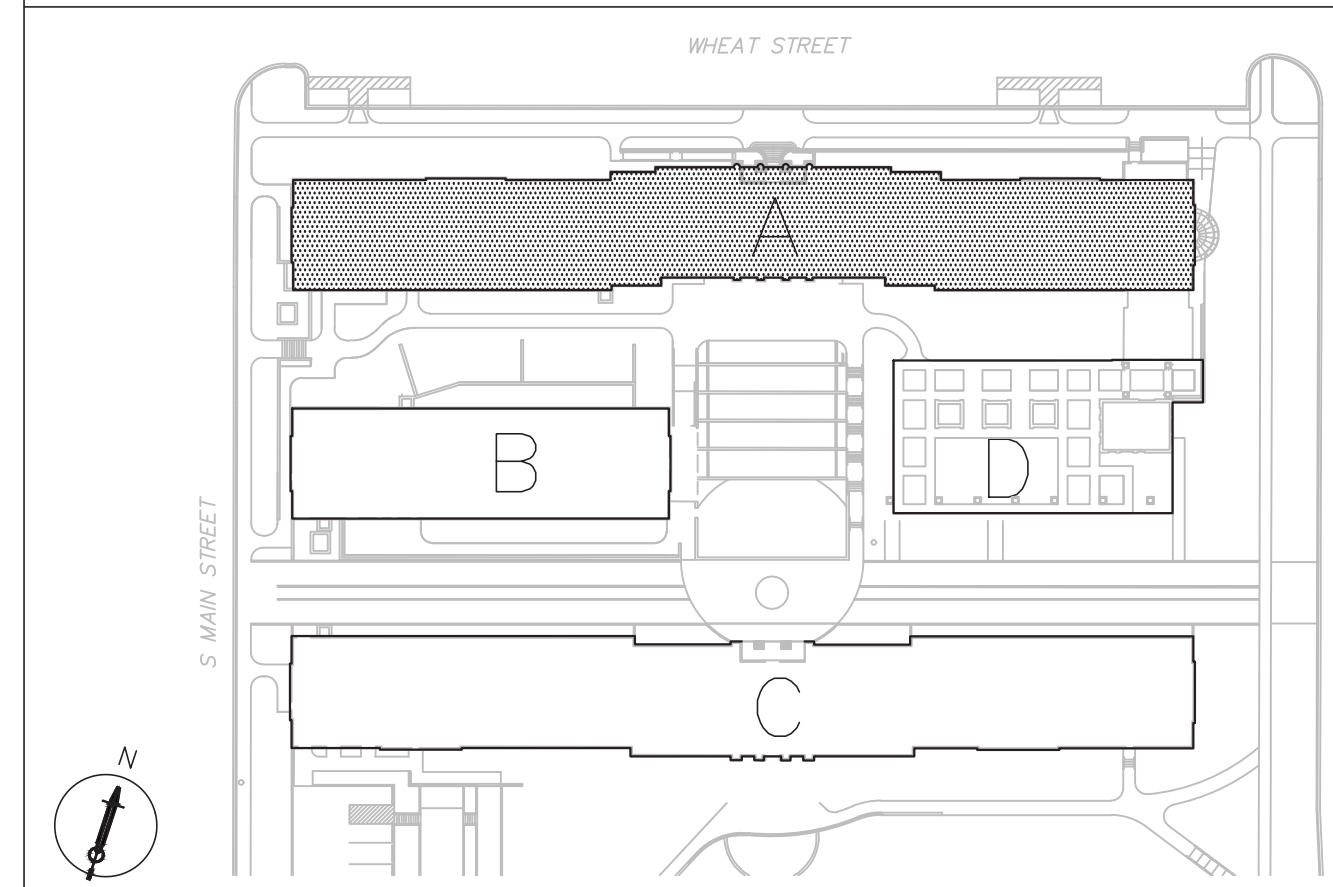
SCALE: 1/16" = 1'-0"



A1 4TH FLOOR BUILDING A - FINISH PLAN

SCALE: 1/16" = 1'-0"

KEY PLAN NTS



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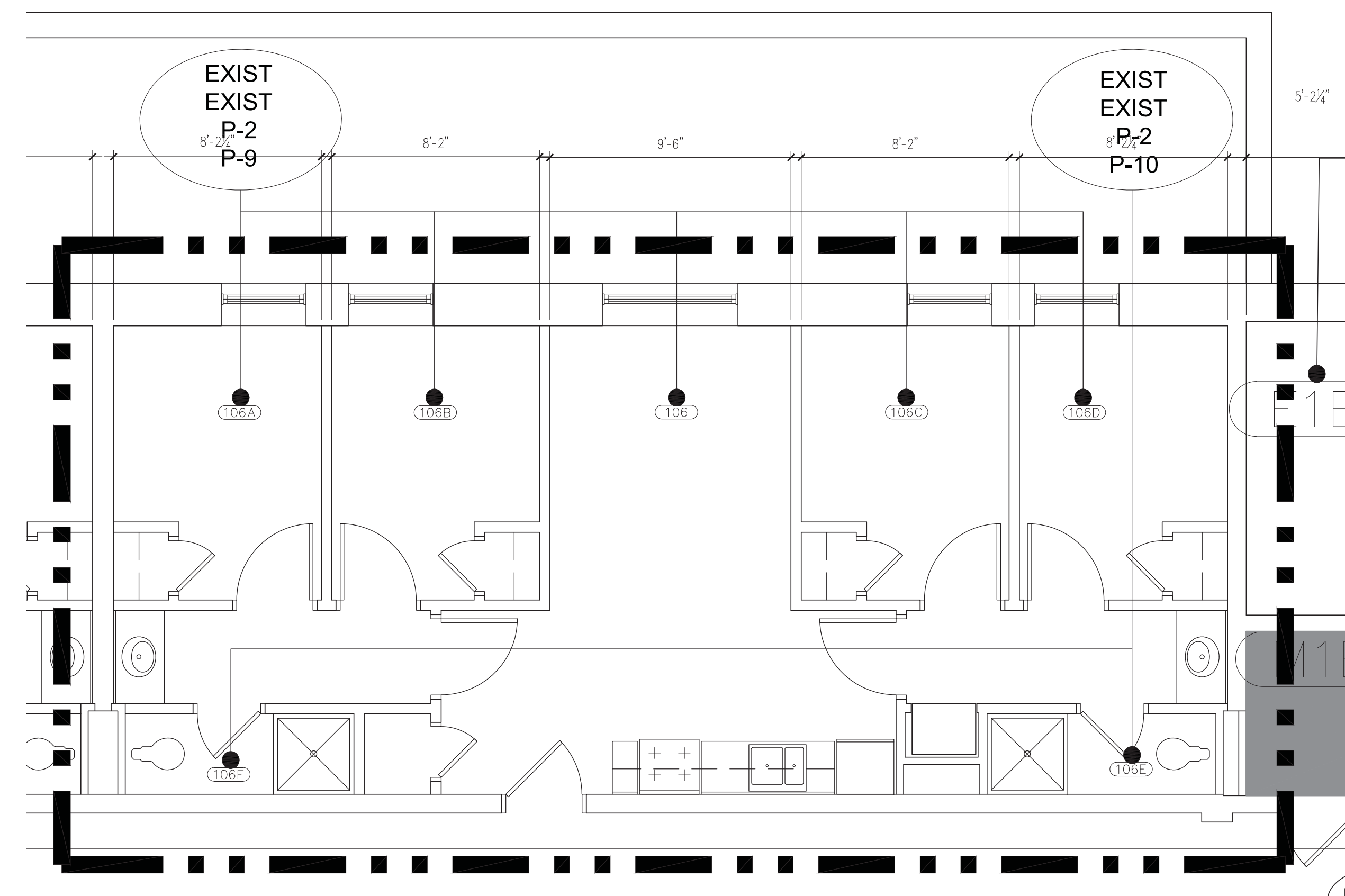
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Green Quad Residence Hall & Learning Center
 Interior Painting Maintenance USC Project # 50003341-2
 Columbia, SC

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 Project Number: 19USC01

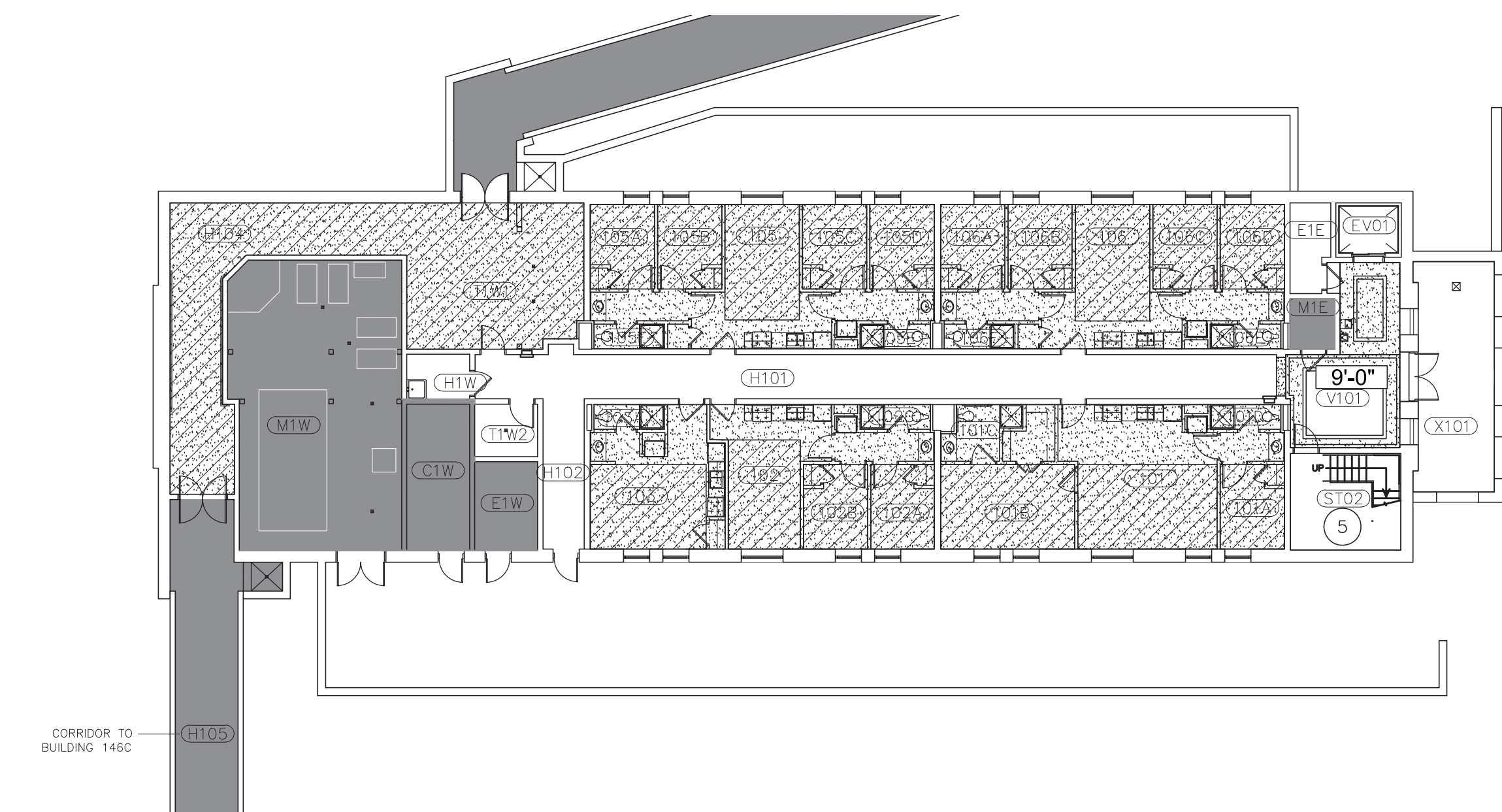
For Bidding 02-15-19

A - 4TH FLOOR FINISH PLAN

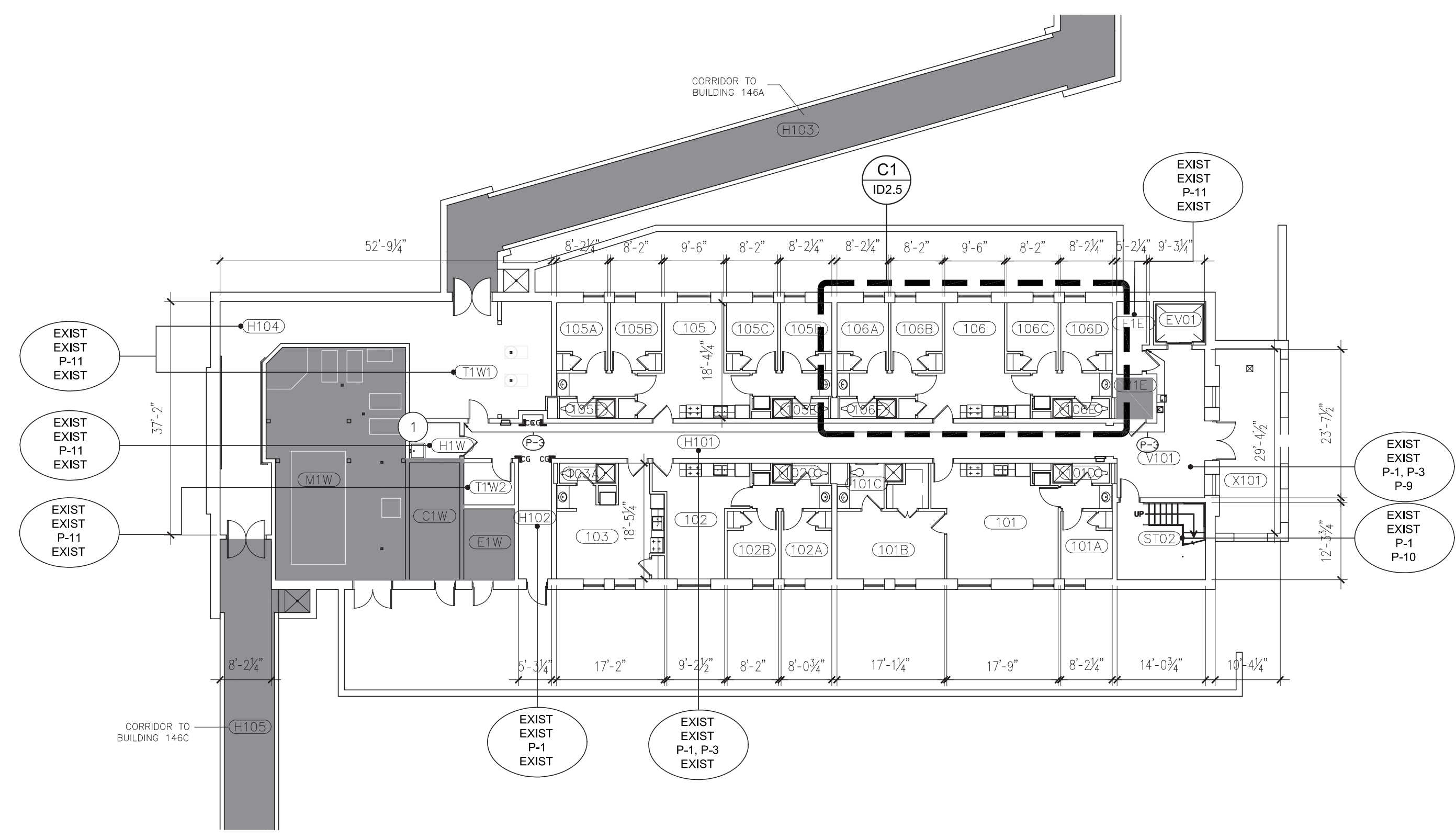
Date: 02.15.19
 Drawn: IAP
 Checked: MEC
ID2.4



C1 TYPICAL APARTMENT BUILDING B
 TYPICAL FOR APARTMENTS: 101, 102, 105, 106.
 SCALE: 1/4" = 1'-0"



B1 1ST FLOOR BUILDING B - REFLECTED CEILING PLAN
 SCALE: 1/16" = 1'-0"



A1 1ST FLOOR BUILDING B - FINISH PLAN
 SCALE: 1/16" = 1'-0"

KEYED RENOVATION NOTES

- 1 MOP SINK DESIGNATED FOR CONTRACTOR CLEAN UP.
- 2 AT ACCENT WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING SAME PAINT COLOR AS ACCENT WALL COMPLETE.
- 3 AT ALL WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING PAINT COLOR P-7 COMPLETE.
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- 8 NOT USED.
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- 10 PAINT SOFFITS BOTTOM AND SIDES COLOR P-6.
- 11 PAINT LIGHT WELLS IN ENTIRETY INCLUDING SOFFIT BOTTOM & SIDES BELOW COLOR P-1

LEGEND

- X-X" HEIGHT ABOVE FINISHED FLOOR
- GWB CEILING. 8' A.F.F. UNO.
- TEXTURED GWB CEILING. 12' A.F.F. UNO.
- EXISTING ACT/EXPOSED DECK TO REMAIN. NO PAINT. UNO

TYPICAL RESIDENT APARTMENT RENOVATION FINISHES

GC TO MOVE FURNITURE AND APPLIANCES TO CENTER OF ALL ROOMS COMPLETE. COVER ALL FURNITURE AND PROTECT DURING CONSTRUCTION.

PROVIDE FINISHES IN ALL ROOMS, BATHROOMS, AND CLOSETS COMPLETE. PAINT ALL SOFFITS, DOORS, DOOR FRAMES AND TRIM COMPLETE. PROVIDE TYPICAL FINISHES IN ALL APARTMENTS ON ALL FLOORS COMPLETE.

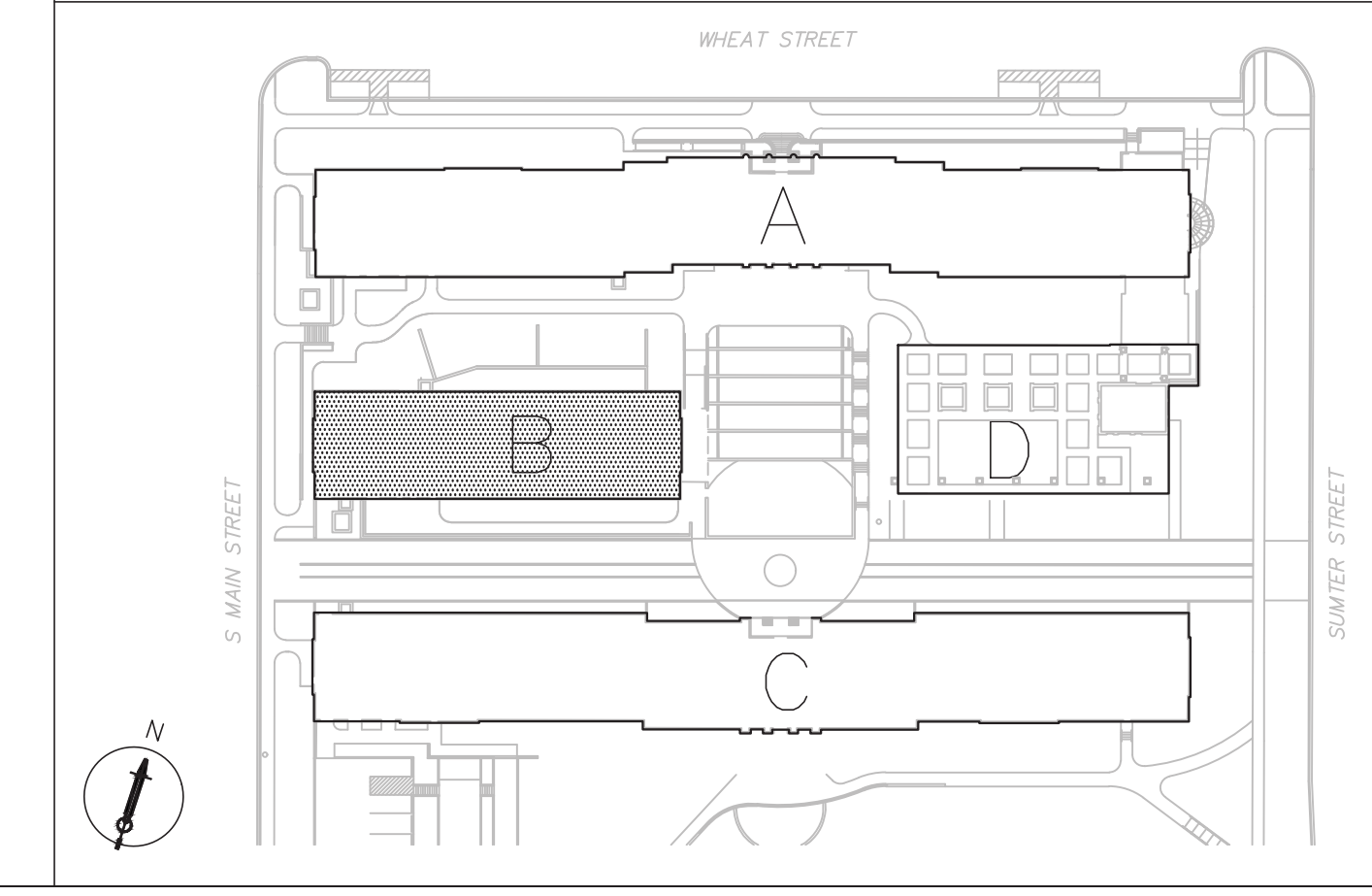
FINISHES SHOWN ON ENLARGED RESIDENT APARTMENT PLAN ARE TYPICAL FOR APARTMENTS: 101, 102, 105, 106.

REFER TO ENLARGED TYPICAL RESIDENT APARTMENT PLAN ON ID2.5 FOR TYPICAL FINISHES.

FIELD VERIFY

GC SHALL VERIFY IN FIELD ALL DIMENSIONS AND EXISTING CONDITION PRIOR TO RENOVATION.

KEY PLAN NTS



University of South Carolina
 Green Quad Residence Hall & Learning Center
 Interior Painting Maintenance USC Project # 50003341-2
 Columbia, SC

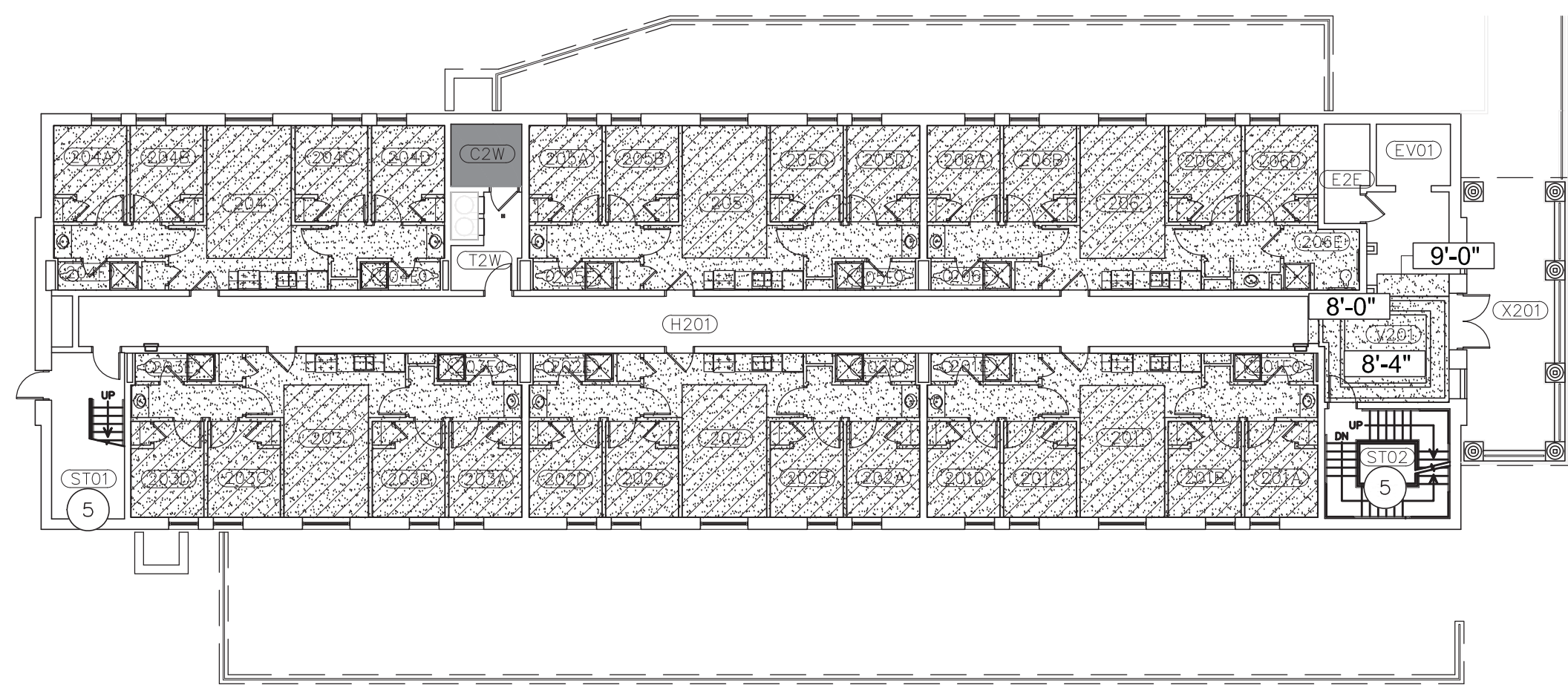
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 Project Number: 19USC01

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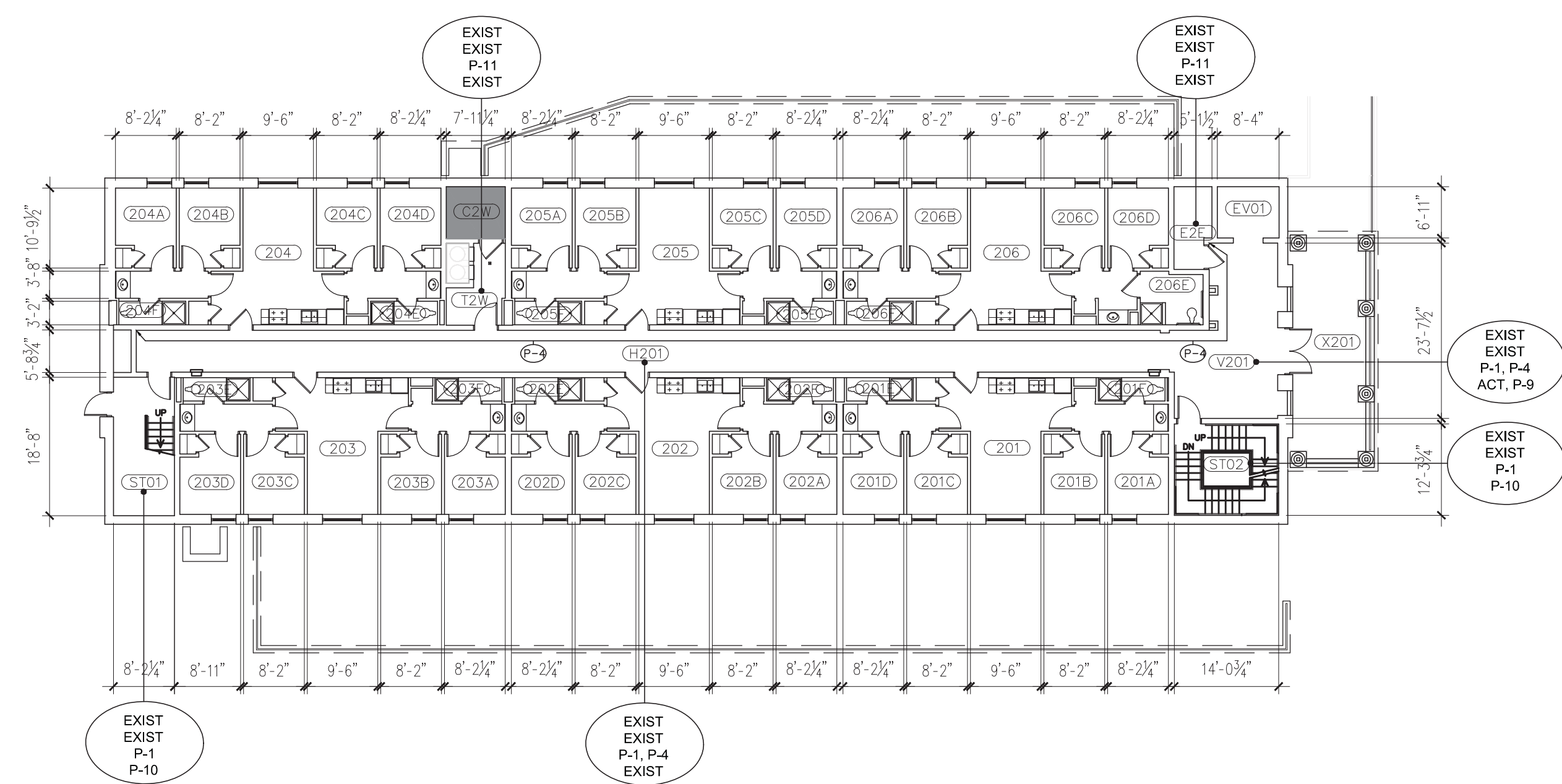
B - 1ST FLOOR FINISH PLAN

Date: 02.15.19
 Drawn: IAP
 Checked: MEC



B1 2ND FLOOR BUILDING B - REFLECTED CEILING PLAN

SCALE: 1/16" = 1'-0"



A1 2ND FLOOR BUILDING B - FINISH PLAN

SCALE: 1/16" = 1'-0"

KEYED RENOVATION NOTES

- 1 MOP SINK DESIGNATED FOR CONTRACTOR CLEAN UP.
- 2 AT ACCENT WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING SAME PAINT COLOR AS ACCENT WALL COMPLETE.
- 3 AT ALL WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING PAINT COLOR P-7 COMPLETE.
- 4 PAINT ALL SOFFITS COMPLETE. PAINT SIDES AND BOTTOMS OF ALL SOFFITS. REFER TO GENERAL FINISH NOTE 7.
- 5 PAINT ALL UNDERSIDE OF STAIRS EXPOSED STRUCTURAL DECK, STRINGERS AND ALL EXPOSED METAL STAIR PARTS COMPLETE.
- 6 REMOVE BUILT-IN BOXED TV, REPLACE/REPAIR DRYWALL SURFACE PATCH, PRIME AND PAINT.
- 7 PAINT ALL COLUMNS COLOR P-1
- 8 NOT USED.
- 9 PAINT INSIDE BACKS, SHELVES, TRIM OF BOOKCASES COLOR P-3. PAINT MILLWORK TRIM & MANTEL COLOR P-7 COMPLETE.
- 10 PAINT SOFFITS BOTTOM AND SIDES COLOR P-6.
- 11 PAINT LIGHT WELLS IN ENTIRETY INCLUDING SOFFIT BOTTOM & SIDES BELOW COLOR P-1

LEGEND

- X-X"** HEIGHT ABOVE FINISHED FLOOR
- GWB CEILING. 8' A.F.F. UNO.
- TEXTURED GWB CEILING. 10' A.F.F. UNO.
- EXISTING ACT/EXPOSED DECK TO REMAIN. NO PAINT. UNO

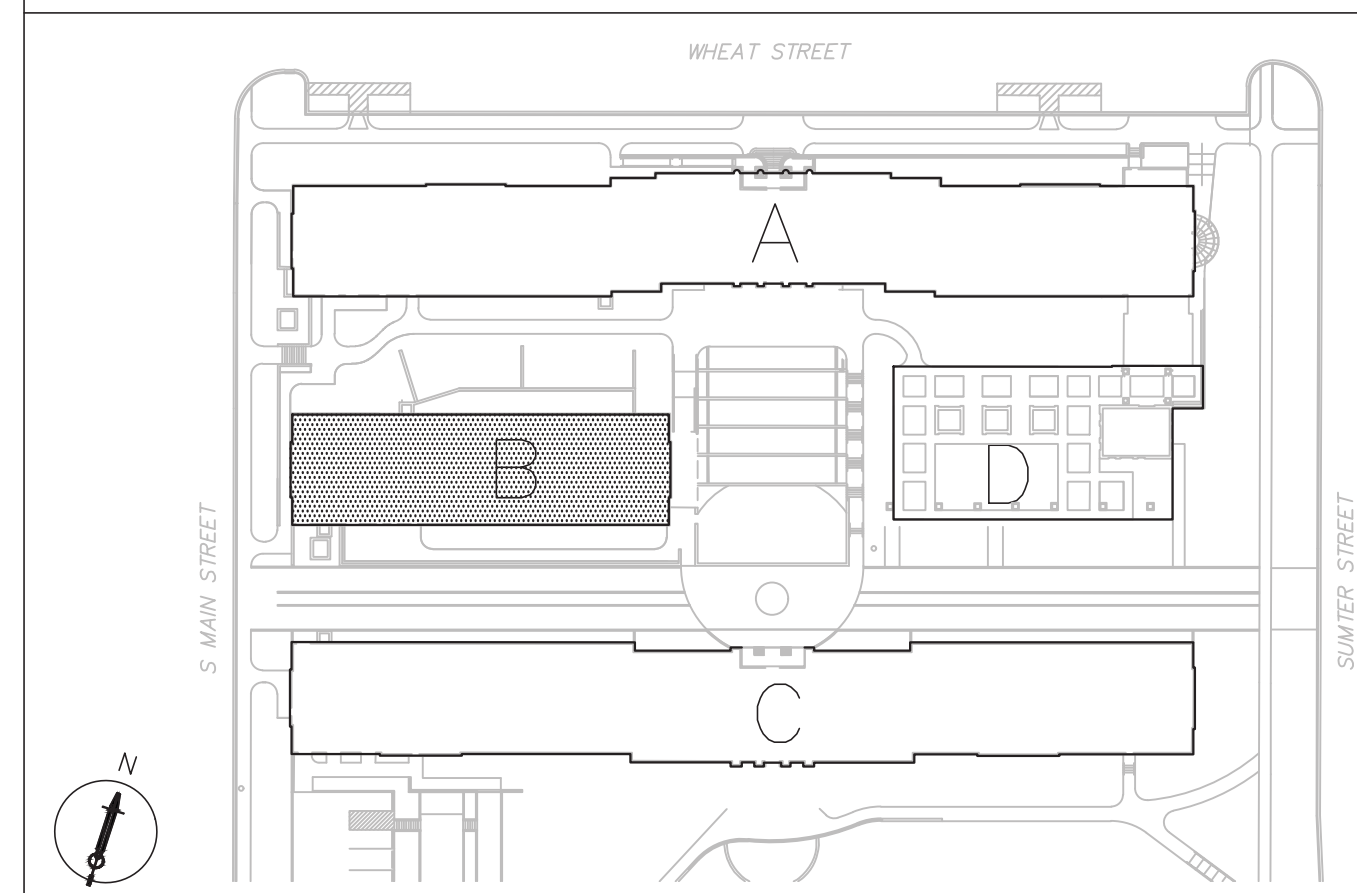
TYPICAL RESIDENT APARTMENT RENOVATION FINISHES

FINISHES SHOWN ON ENLARGED RESIDENT APARTMENT PLAN ARE TYPICAL FOR APARTMENTS: 201, 202, 203, 204, 205, 206.
REFER TO ENLARGED TYPICAL RESIDENT APARTMENT PLAN AND NOTES ON ID2.5 FOR TYPICAL FINISHES.

FIELD VERIFY

GC SHALL VERIFY IN FIELD ALL DIMENSIONS AND EXISTING CONDITION PRIOR TO RENOVATION.

KEY PLAN NTS



Compass 5 Partners, LLC
 1329 State Street Cayce, SC 29033
 803 765 0838 compass5partners.com

University of South Carolina
Green Quad Residence Hall & Learning Center
Interior Painting Maintenance USC Project # 50003341-2
 Columbia, SC

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Project Number: 19USC01

For Bidding 02-15-19

B - 2ND FLOOR FINISH PLAN

Date: 02.15.19
Drawn: IAP
Checked: MEC

ID2.6

KEYED RENOVATION NOTES

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- AT ALL WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING PAINT COLOR P-7 COMPLETE.
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- PAINT ALL COLUMNS COLOR P-1
- NOT USED.
- PAINT INSIDE BACKS, SHELVES, TRIM OF BOOKCASES COLOR P-3. PAINT MILLWORK TRIM & MANTEL COLOR P-7 COMPLETE.
- PAINT SOFFITS BOTTOM AND SIDES COLOR P-6.
- PAINT LIGHT WELLS IN ENTIRETY INCLUDING SOFFIT BOTTOM & SIDES BELOW COLOR P-1

LEGEND

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- GWB CEILING, 8' A.F.F. UNO.
- TEXTURED GWB CEILING, 10' A.F.F. UNO.
- EXISTING ACT/EXPOSED DECK TO REMAIN. NO PAINT. UNO

STATE OF SOUTH CAROLINA
COMPASS 5 PARTNERS, LLC
Columbia, SC
C-100254
REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
MARCO ANTONIO CANNIZZARO
2215 W. Columbia, SC
6796
REGISTERED ARCHITECT

Compass 5 Partners, LLC
1329 State Street Cayce, SC 29033
803 765 0838 compass5partners.com

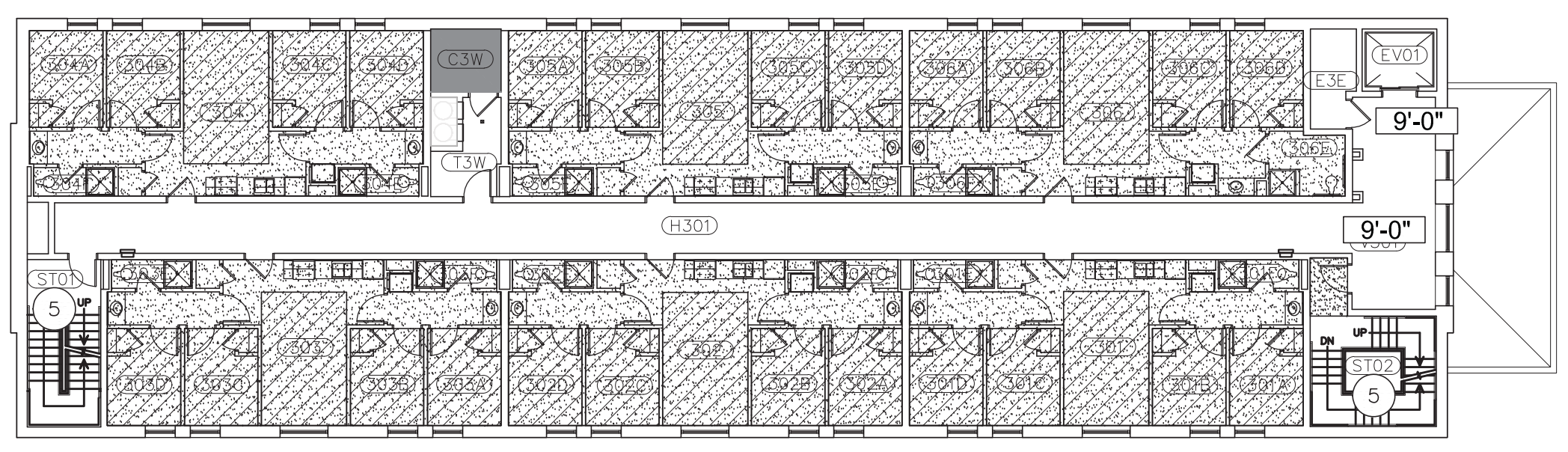
TYPICAL RESIDENT APARTMENT RENOVATION FINISHES

FINISHES SHOWN ON ENLARGED RESIDENT APARTMENT PLAN ARE TYPICAL FOR APARTMENTS: 301, 302, 303, 304, 305, 306.

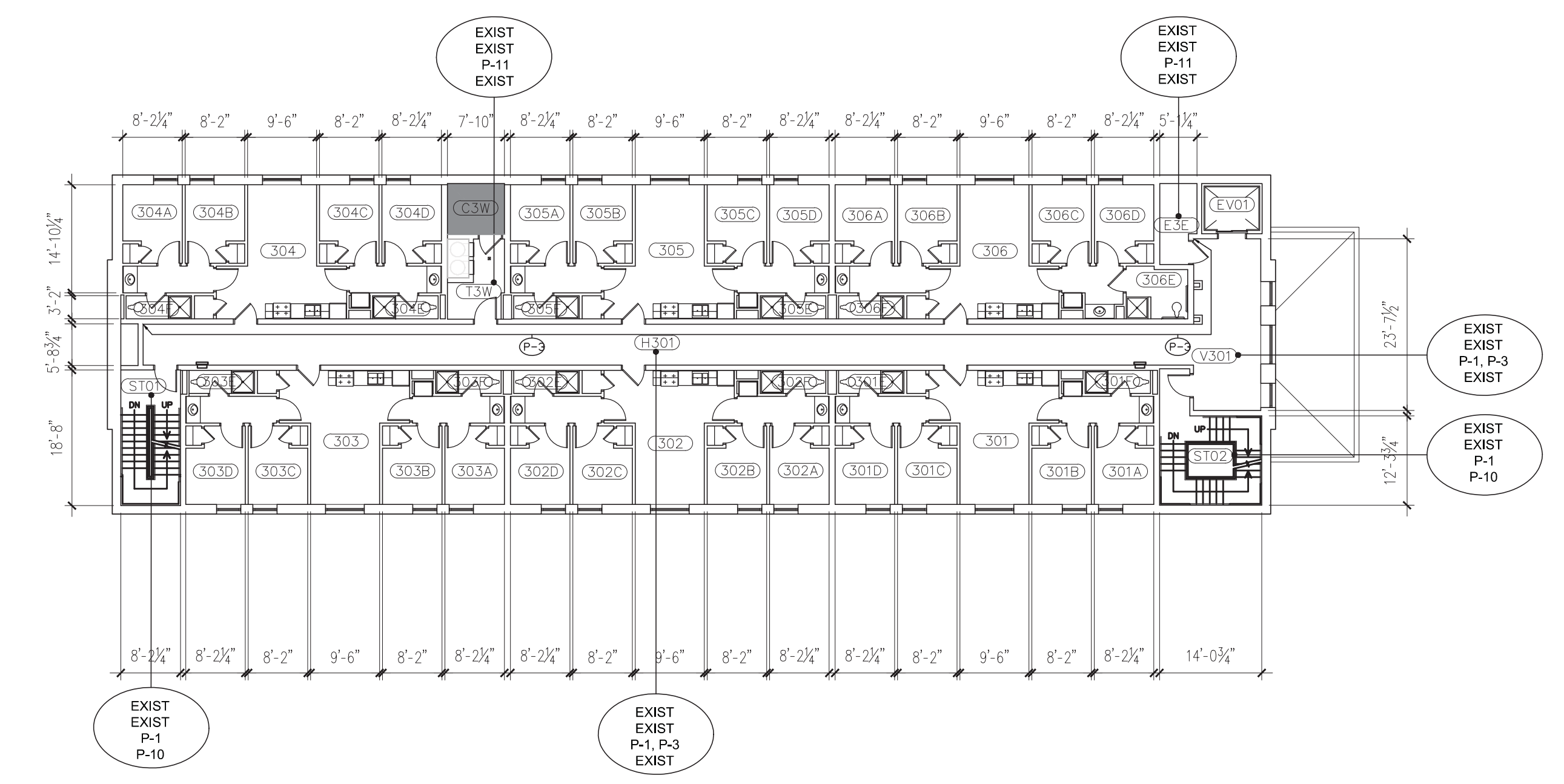
REFER TO ENLARGED TYPICAL RESIDENT APARTMENT PLAN AND NOTES ON ID2.5 FOR TYPICAL FINISHES.

FIELD VERIFY

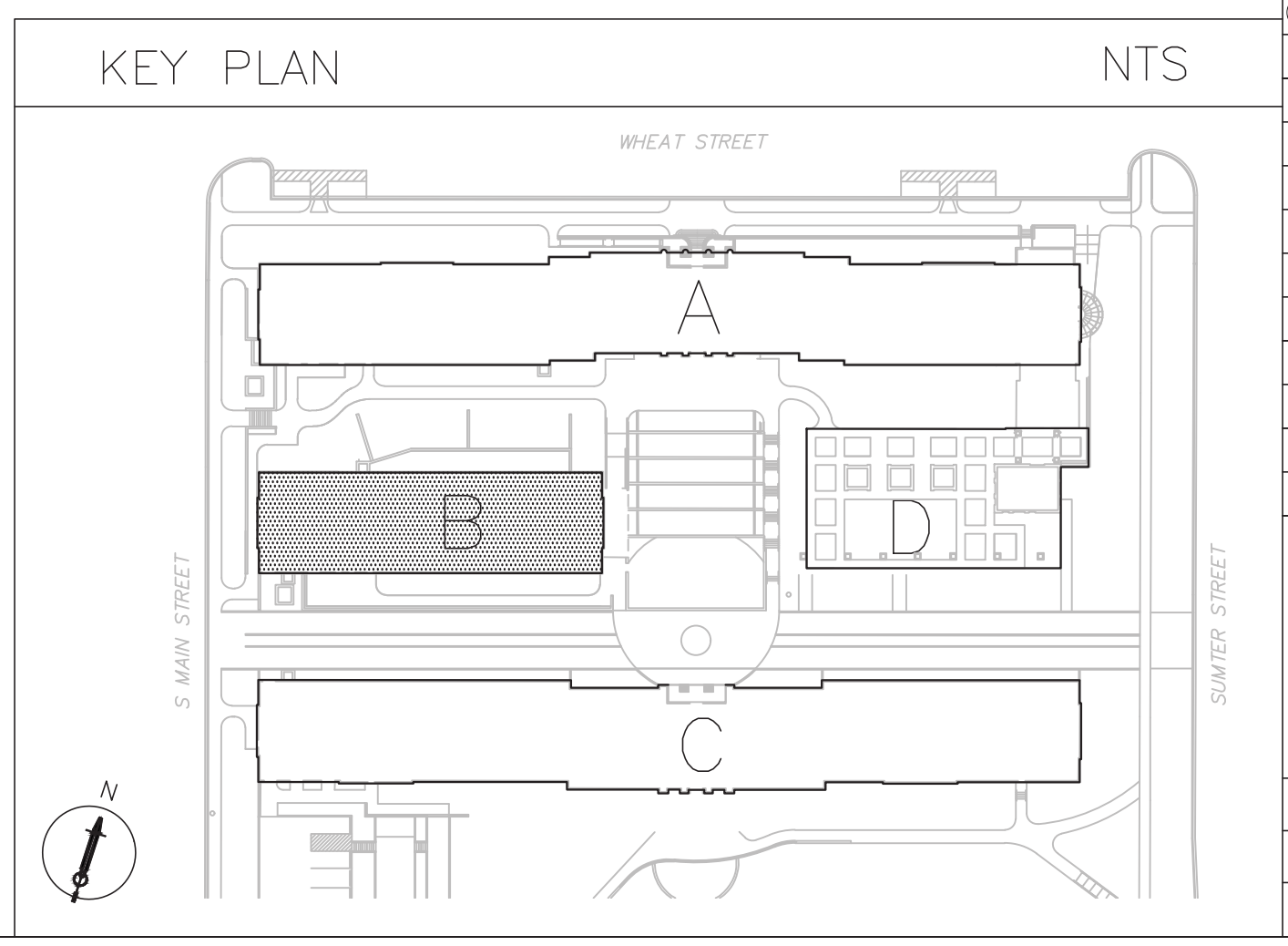
GC SHALL VERIFY IN FIELD ALL DIMENSIONS AND EXISTING CONDITION PRIOR TO RENOVATION.



B1 3RD FLOOR BUILDING B - REFLECTED CEILING PLAN
SCALE: 1/16" = 1'-0"



A1 3RD FLOOR BUILDING B - FINISH PLAN
SCALE: 1/16" = 1'-0"



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B - 3RD FLOOR FINISH PLAN

Date: 02.15.19
Drawn: IAP
Checked: MEC

ID2.7

University of South Carolina
Green Quad Residence Hall & Learning Center
Interior Painting Maintenance USC Project # 50003341-2
Columbia, SC

KEYED RENOVATION NOTES

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- 2 AT ACCENT WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING SAME PAINT COLOR AS ACCENT WALL COMPLETE.
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- 7 PAINT ALL COLUMNS COLOR P-1
- 8 NOT USED.
- 9 PAINT INSIDE BACKS, SHELVES, TRIM OF BOOKCASES COLOR P-3. PAINT MILLWORK TRIM & MANTEL COLOR P-7 COMPLETE.
- 10 PAINT SOFFITS BOTTOM AND SIDES COLOR P-6.
- 11 PAINT LIGHT WELLS IN ENTIRETY INCLUDING SOFFIT BOTTOM & SIDES BELOW COLOR P-1

LEGEND

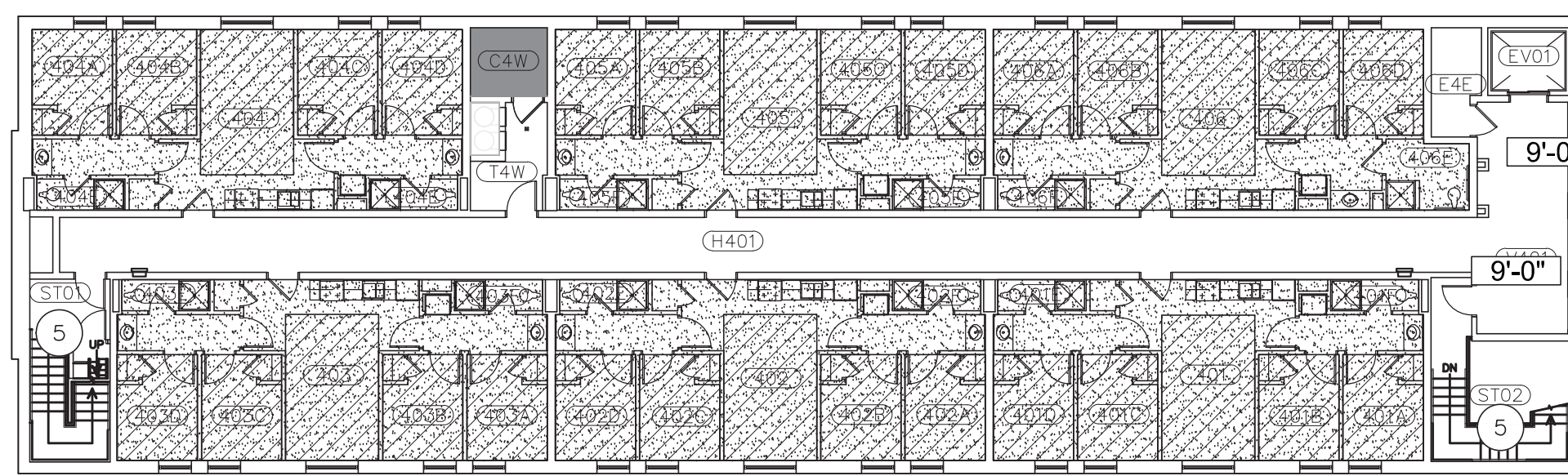
- X-X" HEIGHT ABOVE FINISHED FLOOR
- GWB CEILING. 8' A.F.F. UNO.
- TEXTURED GWB CEILING. 10' A.F.F. UNO.
- EXISTING ACT/EXPOSED DECK TO REMAIN. NO PAINT. UNO

TYPICAL RESIDENT APARTMENT RENOVATION FINISHES

FINISHES SHOWN ON ENLARGED RESIDENT APARTMENT PLAN ARE TYPICAL FOR APARTMENTS: 401, 402, 403, 404, 405, 406.
REFER TO ENLARGED TYPICAL RESIDENT APARTMENT PLAN AND NOTES ON ID2.5 FOR TYPICAL FINISHES.

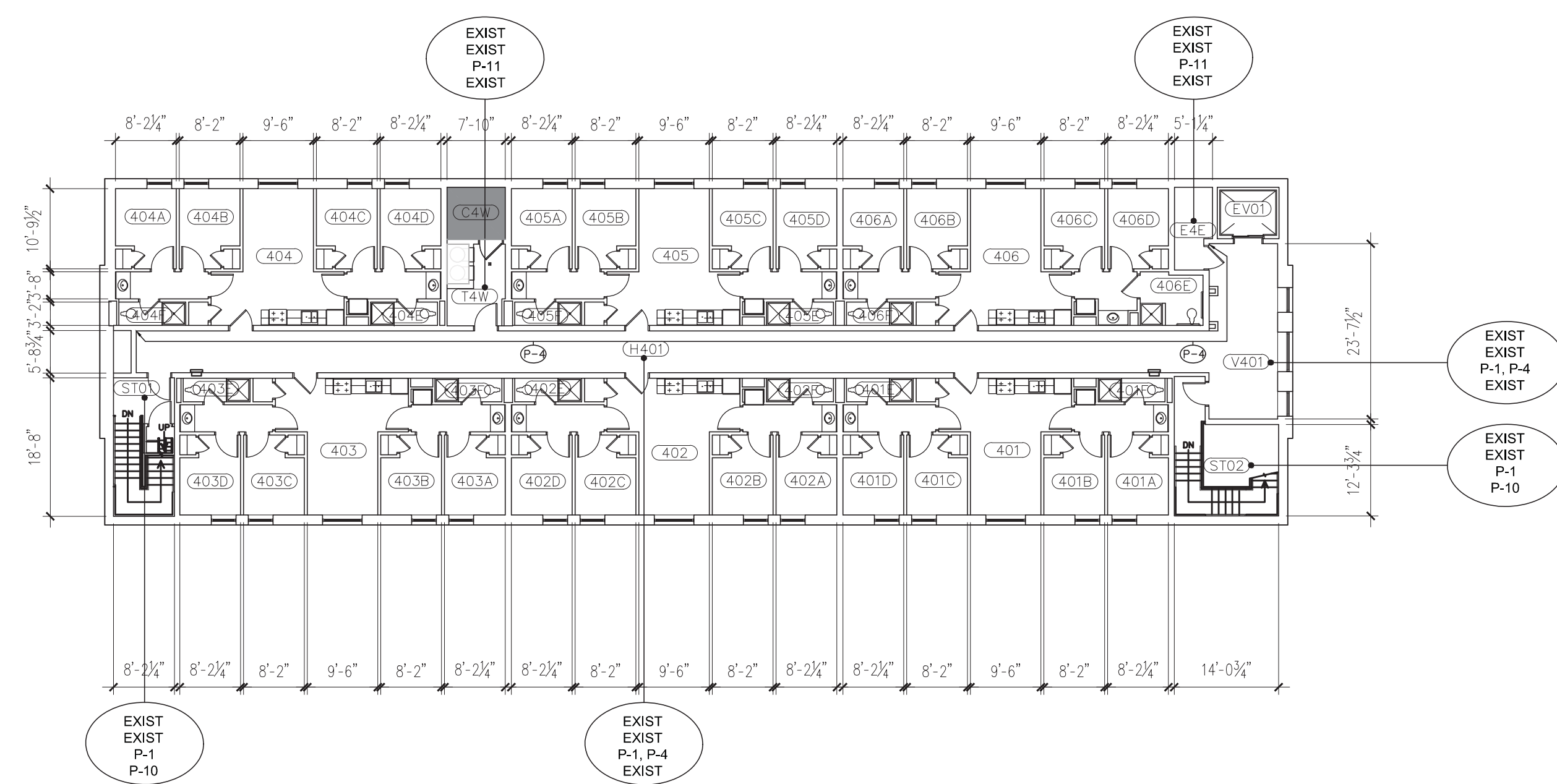
FIELD VERIFY

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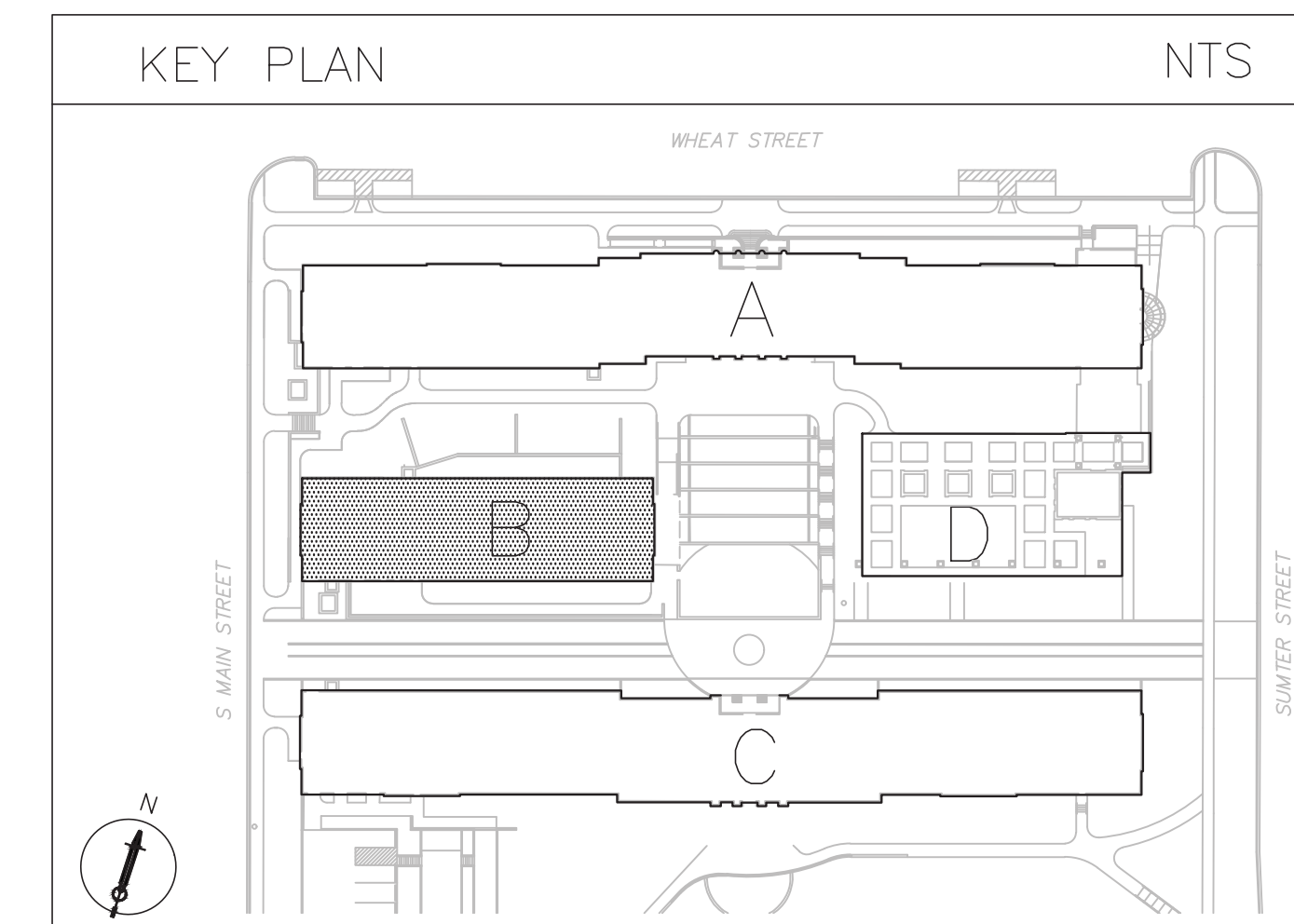
B1 4TH FLOOR BUILDING B - REFLECTED CEILING PLAN

SCALE: 1/16" = 1'-0"



A1 4TH FLOOR BUILDING B - FINISH PLAN

SCALE: 1/16" = 1'-0"



Compass 5 Partners, LLC
 1329 State Street Cayce, SC 29033
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University of South Carolina
Green Quad Residence Hall & Learning Center
Interior Painting Maintenance USC Project # 50003341-2
 Columbia, SC

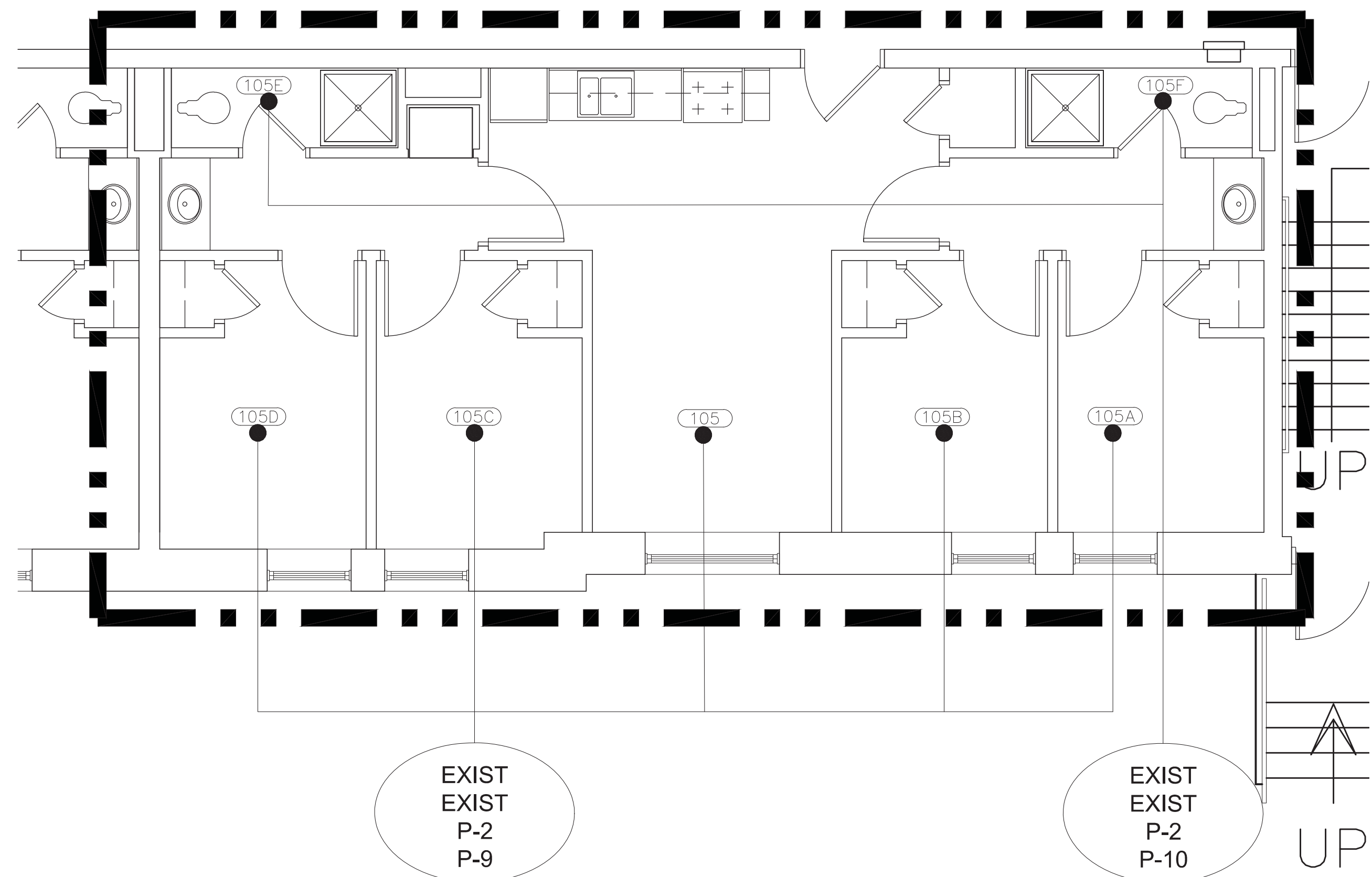
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For Bidding: 02-15-19

B - 4TH FLOOR FINISH PLAN

Date: 02.15.19
 Drawn: IAP
 Checked: MEC

ID2.8



C1 TYPICAL APARTMENT BUILDING C
TYPICAL FOR APARTMENTS: 101, 102, 103, 105, 106, 107, 109, 110.

SCALE: 1/4" = 1'-0"

KEYED RENOVATION NOTES	
1	MOP SINK DESIGNATED FOR CONTRACTOR CLEAN UP.
2	AT ACCENT WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING SAME PAINT COLOR AS ACCENT WALL COMPLETE.
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7	PAINT ALL COLUMNS COLOR P-1
8	NOT USED.
9	PAINT INSIDE BACKS, SHELVES, TRIM OF BOOKCASES COLOR P-3. PAINT MILLWORK TRIM & MANTEL COLOR P-7 COMPLETE.
10	PAINT SOFFITS BOTTOM AND SIDES COLOR P-6.
11	PAINT LIGHT WELLS IN ENTIRETY INCLUDING SOFFIT BOTTOM & SIDES BELOW COLOR P-1

LEGEND	
X-X"	HEIGHT ABOVE FINISHED FLOOR
[Pattern]	GWB CEILING, 8' A.F.F. UNO.
[Pattern]	TEXTURED GWB CEILING, 10' A.F.F. UNO.
[Pattern]	EXISTING ACT/EXPOSED DECK TO REMAIN. NO PAINT. UNO

TYPICAL RESIDENT APARTMENT RENOVATION FINISHES

GC TO MOVE FURNITURE AND APPLIANCES TO CENTER OF ALL ROOMS COMPLETE. COVER ALL FURNITURE AND PROTECT DURING CONSTRUCTION.

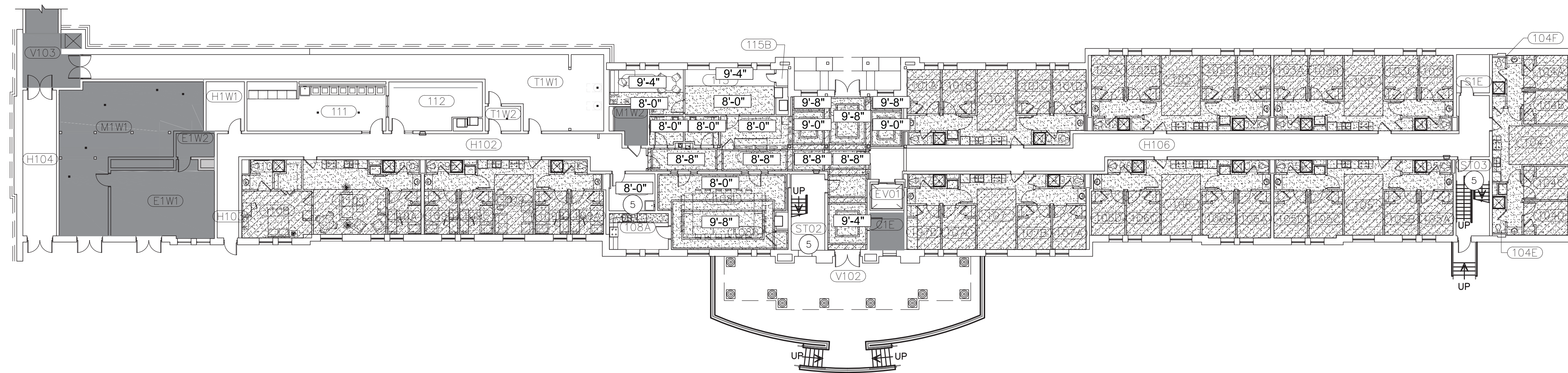
PROVIDE FINISHES IN ALL ROOMS, BATHROOMS, INTERNAL CORRIDORS, VANITIES AND CLOSETS COMPLETE. PAINT ALL SOFFITS, DOORS, DOOR FRAMES AND TRIM COMPLETE. PROVIDE TYPICAL FINISHES IN ALL APARTMENTS ON ALL FLOORS COMPLETE.

FINISHES SHOWN ON ENLARGED RESIDENT APARTMENT PLAN ARE TYPICAL FOR APARTMENTS: 101, 102, 103, 105, 106, 107, 109, 110.

REFER TO ENLARGED TYPICAL RESIDENT APARTMENT PLAN ON ID2.1 FOR TYPICAL FINISHES.

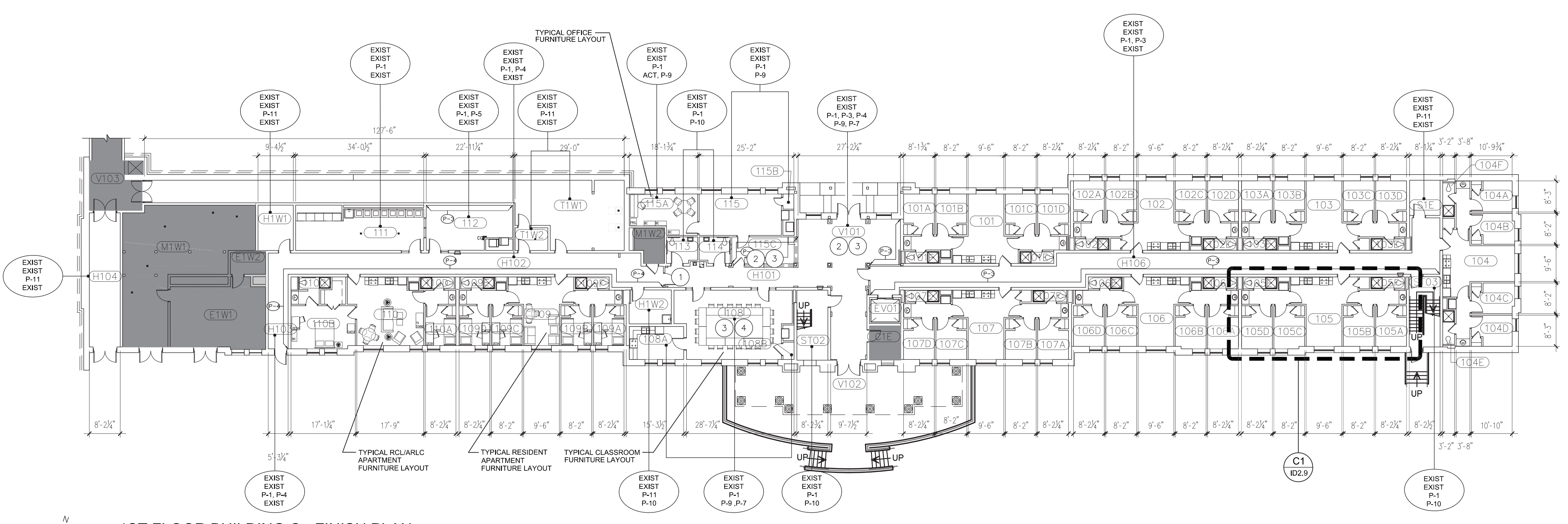
FIELD VERIFY

GC SHALL VERIFY IN FIELD ALL DIMENSIONS AND EXISTING CONDITION PRIOR TO RENOVATION.



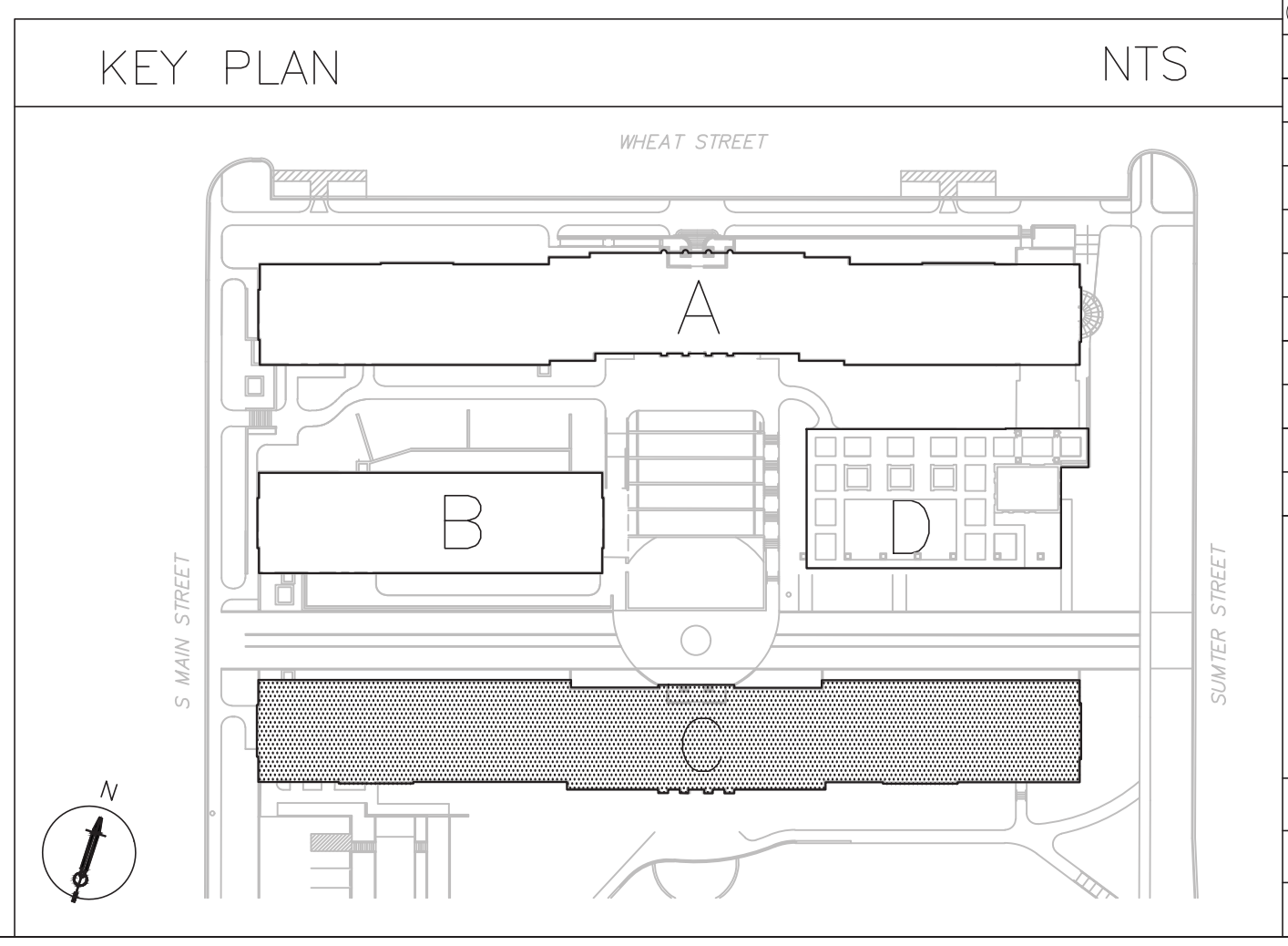
B1 1ST FLOOR BUILDING C - REFLECTED CEILING PLAN

SCALE: 1/16" = 1'-0"



A1 1ST FLOOR BUILDING C - FINISH PLAN

SCALE: 1/16" = 1'-0"



KEYED RENOVATION NOTES

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- PAINT SOFFITS BOTTOM AND SIDES COLOR P-6.
- PAINT LIGHT WELLS IN ENTIRETY INCLUDING SOFFIT BOTTOM & SIDES BELOW COLOR P-1

LEGEND

X-X" HEIGHT ABOVE FINISHED FLOOR

[Pattern] GWB CEILING, 8' A.F.F. UNO.

[Pattern] TEXTURED GWB CEILING, 10' A.F.F. UNO.

[Pattern] EXISTING ACT/EXPOSED DECK TO REMAIN. NO PAINT. UNO

STATE OF SOUTH CAROLINA
COMPASS 5 PARTNERS, LLC
Columbia, SC
C-100254
REGISTERED ARCHITECTS

STATE OF SOUTH CAROLINA
MARVIN J. CANNIZZARO
4215 W. Columbia, SC
6796
REGISTERED ARCHITECT

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1329 State Street Cayce, SC 29033
803 765 0838 compass5partners.com

University of South Carolina
Green Quad Residence Hall & Learning Center
Interior Painting Maintenance USC Project # 50003341-2
Columbia, SC

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Project Number: 19USC01

For Bidding: 02-15-19

C - 1ST FLOOR FINISH PLAN

Date: 02.15.19
Drawn: IAP
Checked: MEC

ID2.9

KEYED RENOVATION NOTES

- 1 MOP SINK DESIGNATED FOR CONTRACTOR CLEAN UP.
- 2 AT ACCENT WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING SAME PAINT COLOR AS ACCENT WALL COMPLETE.
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LEGEND

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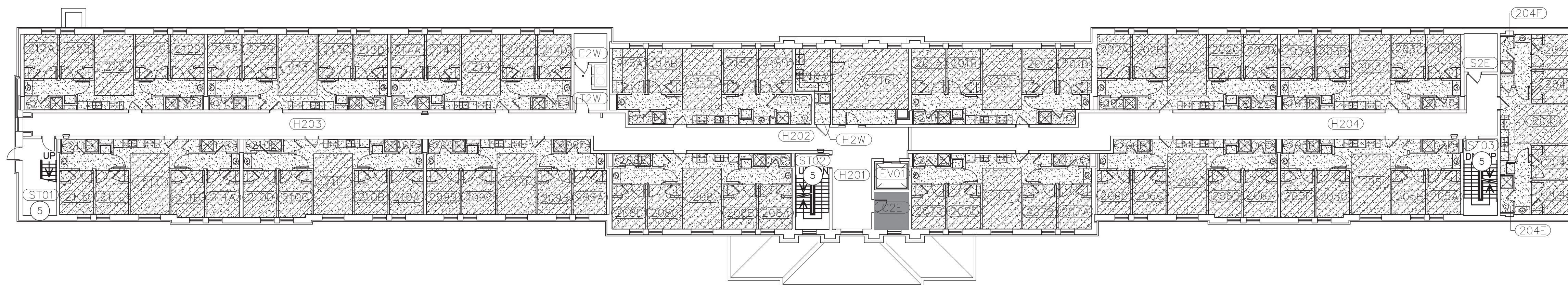
TYPICAL RESIDENT APARTMENT RENOVATION FINISHES

FINISHES SHOWN ON ENLARGED RESIDENT APARTMENT PLAN ARE TYPICAL FOR APARTMENTS: 201, 202, 203, 204, 205, 206, 207, 209, 210, 211, 212, 213, 214, 215.

REFER TO ENLARGED TYPICAL RESIDENT APARTMENT PLAN AND NOTES ON ID2.9 FOR TYPICAL FINISHES.

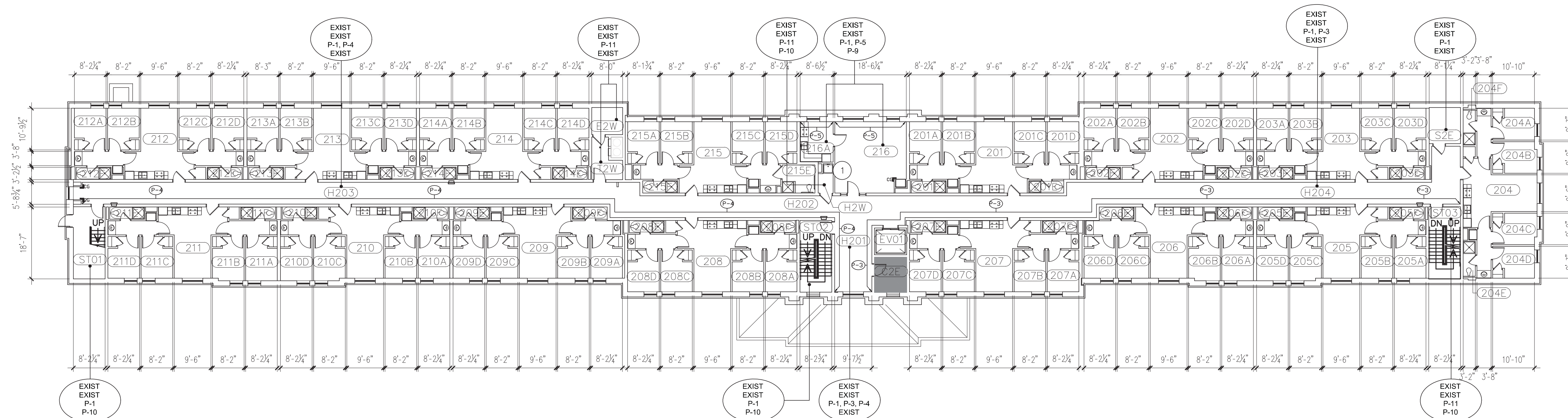
FIELD VERIFY

GC SHALL VERIFY IN FIELD ALL DIMENSIONS AND EXISTING CONDITION PRIOR TO RENOVATION.



B1 2ND FLOOR BUILDING C - REFLECTED CEILING PLAN

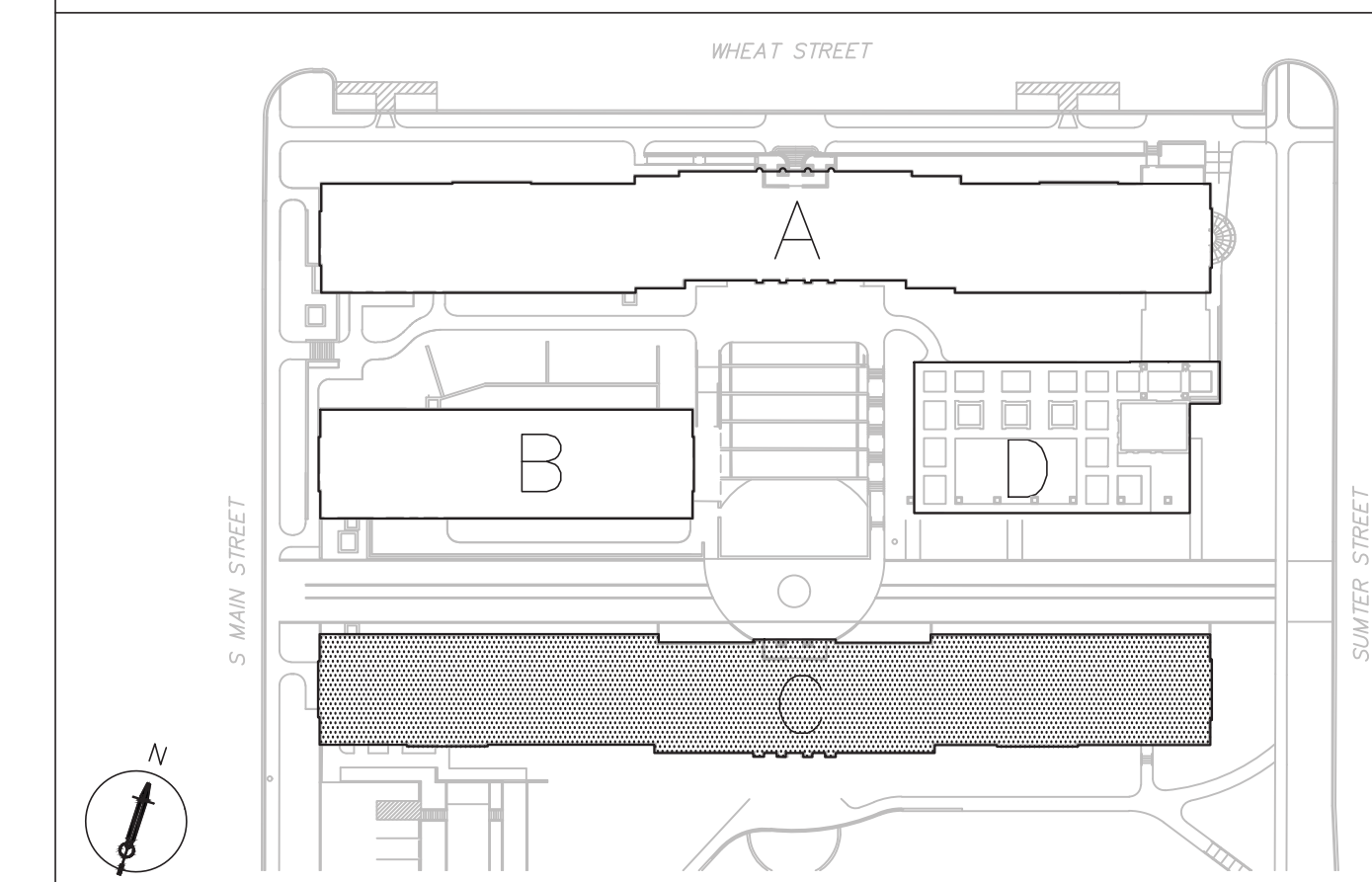
SCALE: 1/16" = 1'-0"



A1 2ND FLOOR BUILDING C - FINISH PLAN

SCALE: 1/16" = 1'-0"

KEY PLAN NTS



Compass 5 Partners, LLC
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University of South Carolina
Green Quad Residence Hall & Learning Center
Interior Painting Maintenance USC Project # 50003341-2
 Columbia, SC

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Project Number:	19USC01
For Bidding	02-15-19
C - 2ND FLOOR FINISH PLAN	
Date:	02.15.19
Drawn:	IAP
Checked:	MEC
ID2.10	

KEYED RENOVATION NOTES

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LEGEND

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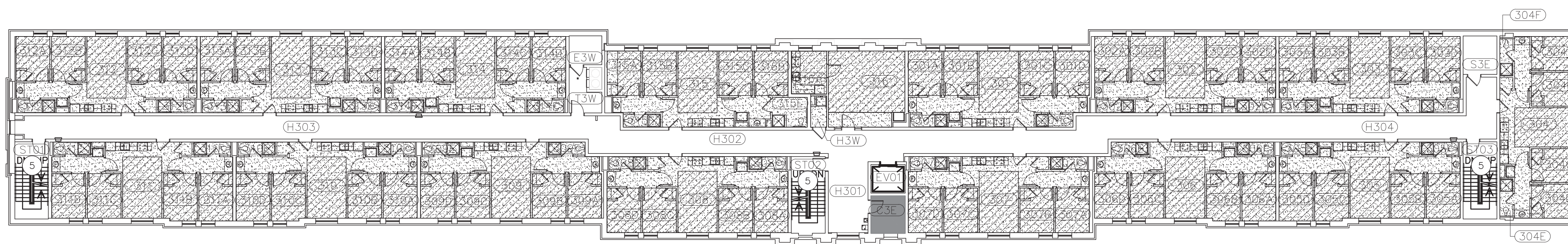
TYPICAL RESIDENT APARTMENT RENOVATION FINISHES

FINISHES SHOWN ON ENLARGED RESIDENT APARTMENT PLAN ARE TYPICAL FOR APARTMENTS: 301, 302, 303, 304, 305, 306, 307, 309, 310, 311, 312, 313, 314, 315.

REFER TO ENLARGED TYPICAL RESIDENT APARTMENT PLAN AND NOTES ON ID2.9 FOR TYPICAL FINISHES.

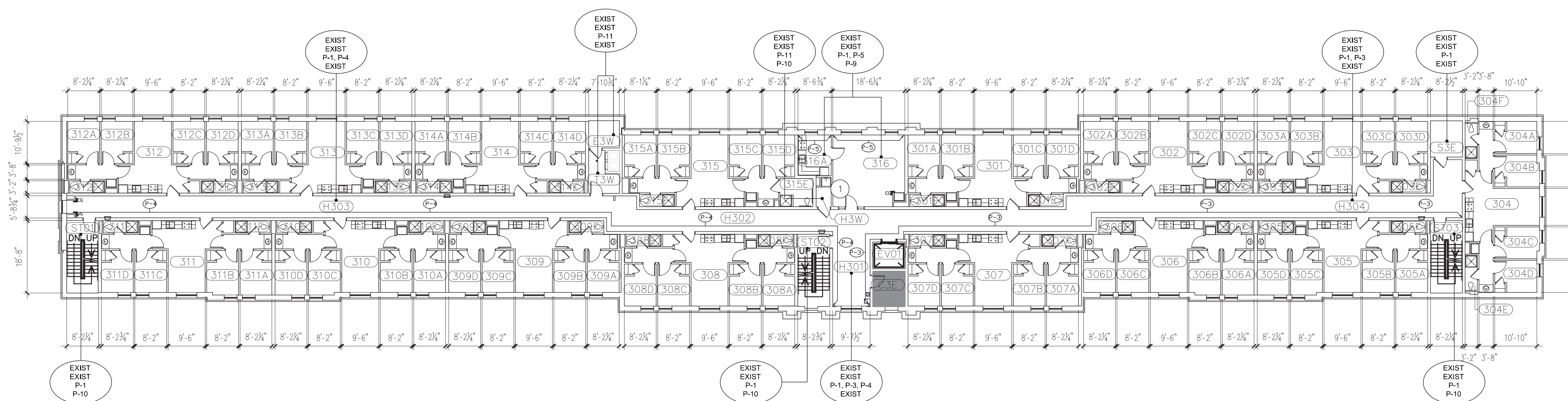
FIELD VERIFY

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B1 3RD FLOOR BUILDING C - REFLECTED CEILING PLAN

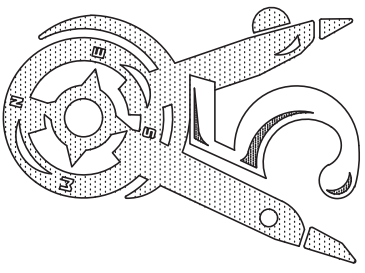
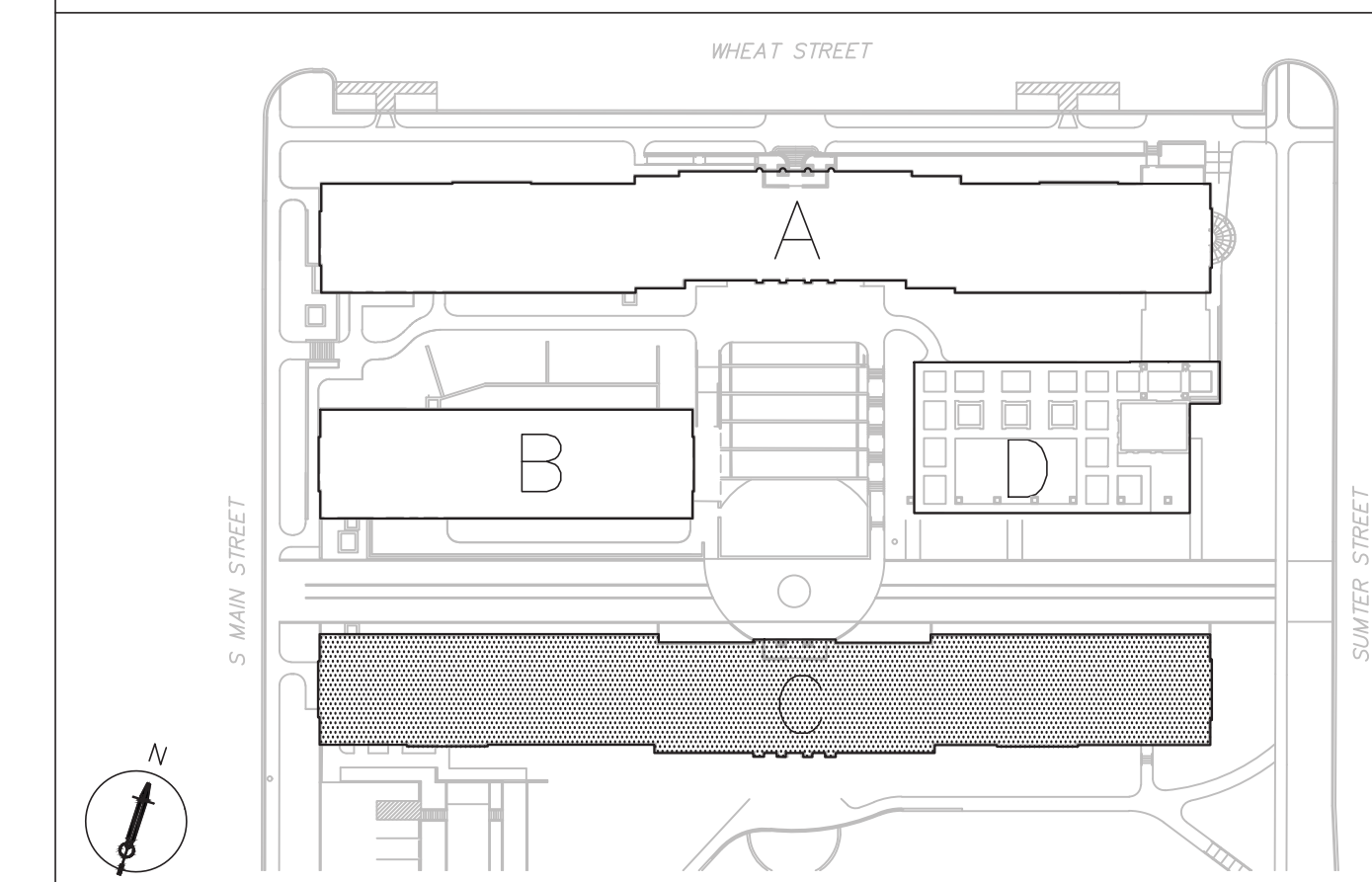
SCALE: 1/16" = 1'-0"



A1 3RD FLOOR BUILDING C - FINISH PLAN

SCALE: 1/16" = 1'-0"

KEY PLAN NTS



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C - 3RD FLOOR FINISH PLAN

Date: 02.15.19
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Checked: MEC
ID2.11

KEYED RENOVATION NOTES

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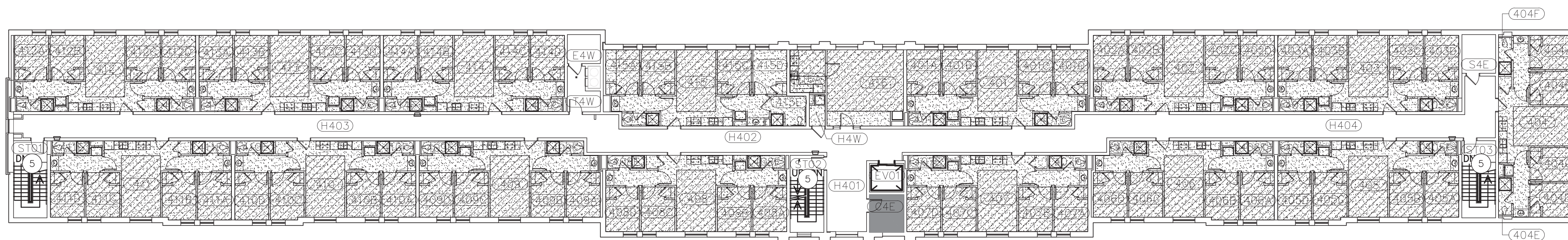
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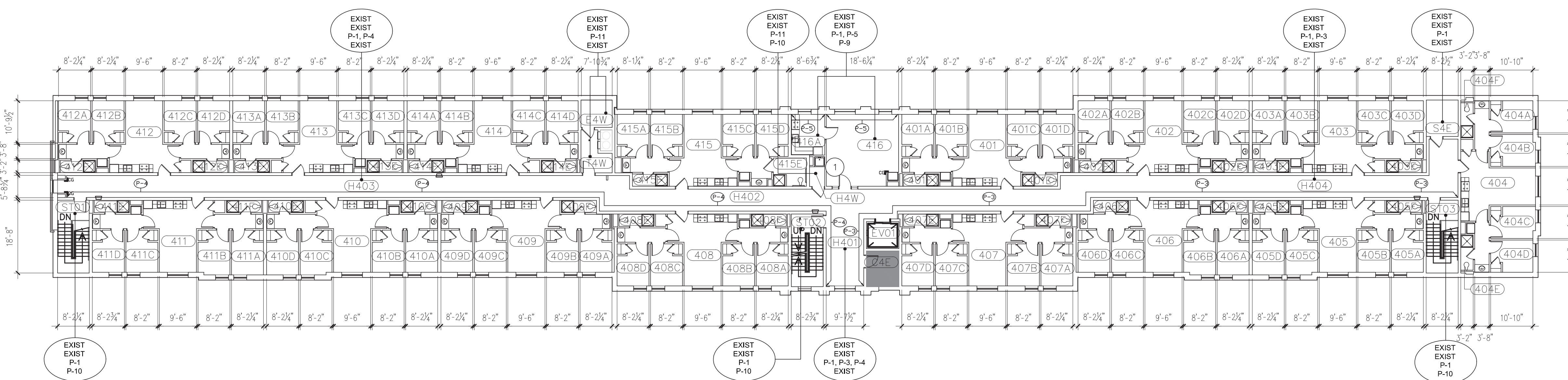
FIELD VERIFY

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B1 4TH FLOOR BUILDING C - REFLECTED CEILING PLAN

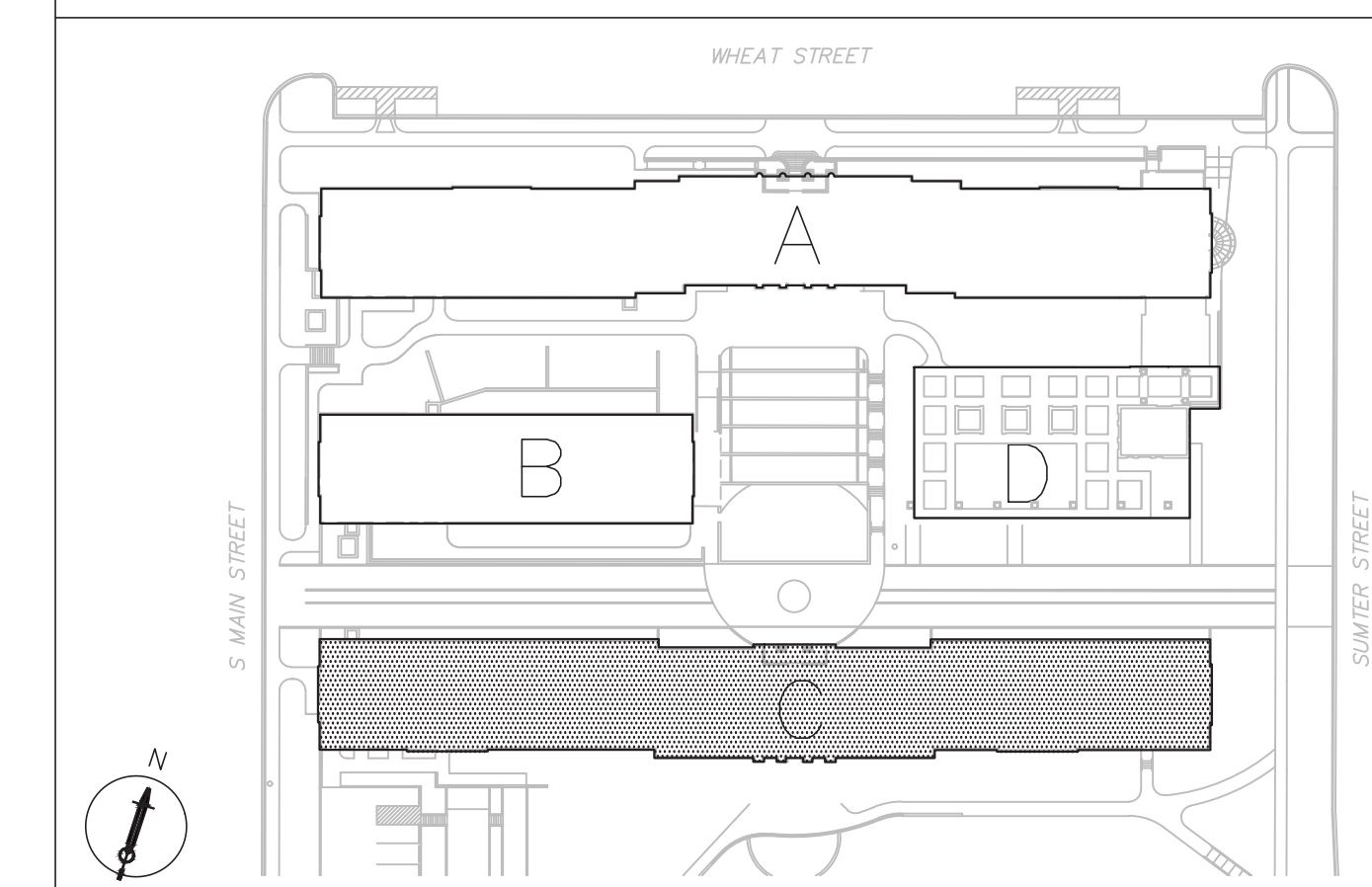
SCALE: 1/16" = 1'-0"



A1 4TH FLOOR BUILDING C - FINISH PLAN

SCALE: 1/16" = 1'-0"

KEY PLAN NTS



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C - 4TH FLOOR FINISH PLAN	
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Checked:	MEC
ID2.12	

KEYED RENOVATION NOTES	
1	MOP SINK DESIGNATED FOR CONTRACTOR CLEAN UP.
2	AT ACCENT WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING SAME PAINT COLOR AS ACCENT WALL COMPLETE.
3	AT ALL WALLS PRIME AND PAINT BASEBOARD, CHAIR RAIL AND CROWN MOLDING PAINT COLOR P-7 COMPLETE.
4	PAINT ALL SOFFITS COMPLETE. PAINT SIDES AND BOTTOMS OF ALL SOFFITS. REFER TO GENERAL FINISH NOTE 7.
5	PAINT ALL UNDERSIDE OF STAIRS EXPOSED STRUCTURAL DECK, STRINGERS AND ALL EXPOSED METAL STAIR PARTS COMPLETE.
6	REMOVE BUILT-IN BOXED TV, REPLACE/REPAIR DRYWALL SURFACE PATCH, PRIME AND PAINT.
7	PAINT ALL COLUMNS COLOR P-1
8	NOT USED.
9	PAINT INSIDE BACKS, SHELVES, TRIM OF BOOKCASES COLOR P-3. PAINT MILLWORK TRIM & MANTEL COLOR P-7 COMPLETE.
10	PAINT SOFFITS BOTTOM AND SIDES COLOR P-6.
11	PAINT LIGHT WELLS IN ENTIRETY INCLUDING SOFFIT BOTTOM & SIDES BELOW COLOR P-1

LEGEND	
X-X"	HEIGHT ABOVE FINISHED FLOOR
[Pattern]	GWB CEILING. 8' A.F.F. UNO.
[Pattern]	TEXTURED GWB CEILING. 12' A.F.F. UNO.
[Pattern]	EXISTING ACT/EXPOSED DECK TO REMAIN. NO PAINT. UNO

MOCK UPS

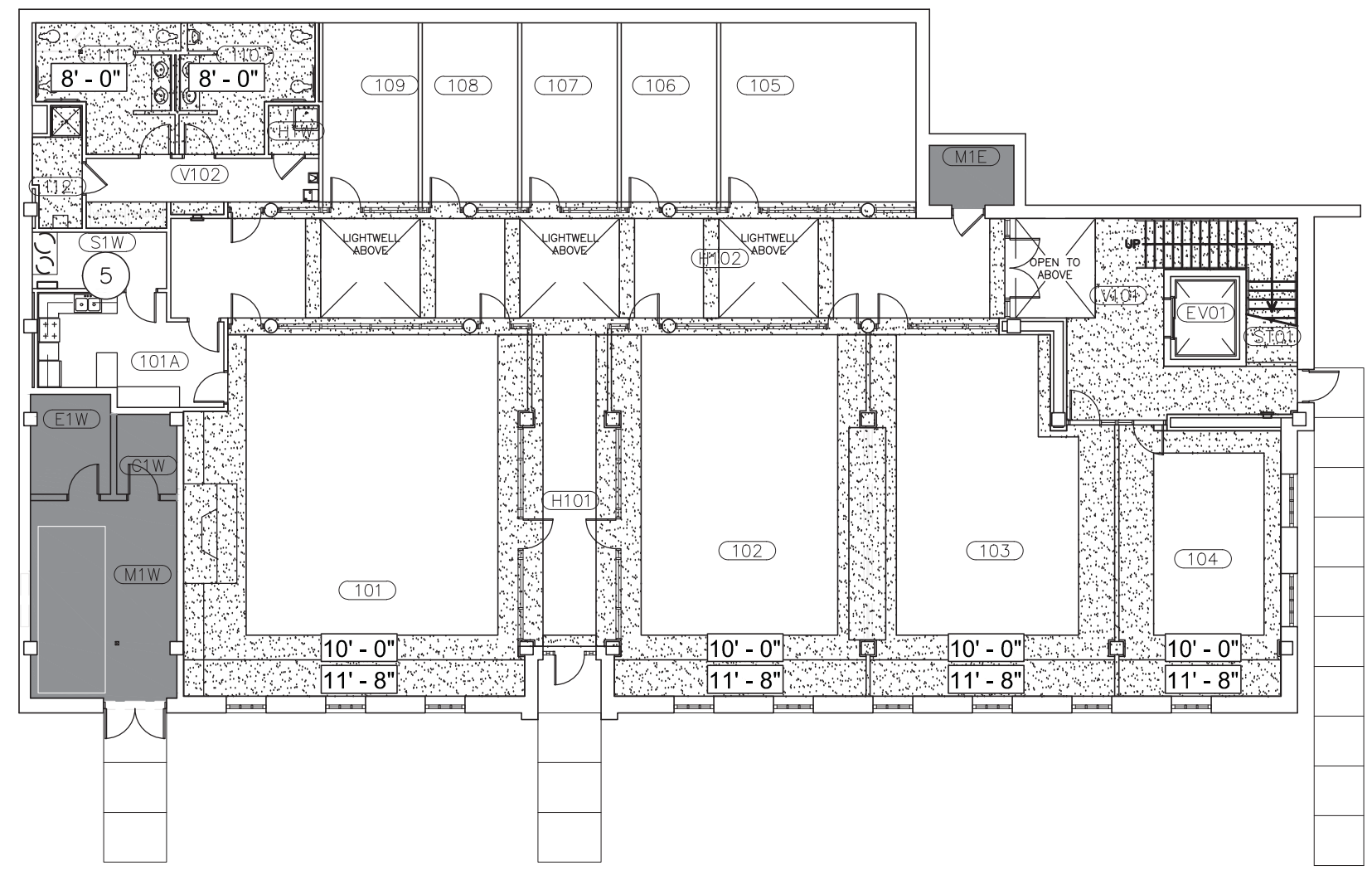
CONTRACTOR TO PROVIDE BENCHMARK MOCK-UP OF EACH PAINT SYSTEM TO BE APPROVED BY USC INTERIOR DESIGNER. DO NOT PROCEED WITH REMAINING WORK UNTIL MOCK-UPS ARE APPROVED.

PROVIDE MOCK UP OF SELECTED AREA IN EACH BUILDING. REFER TO PLANS.

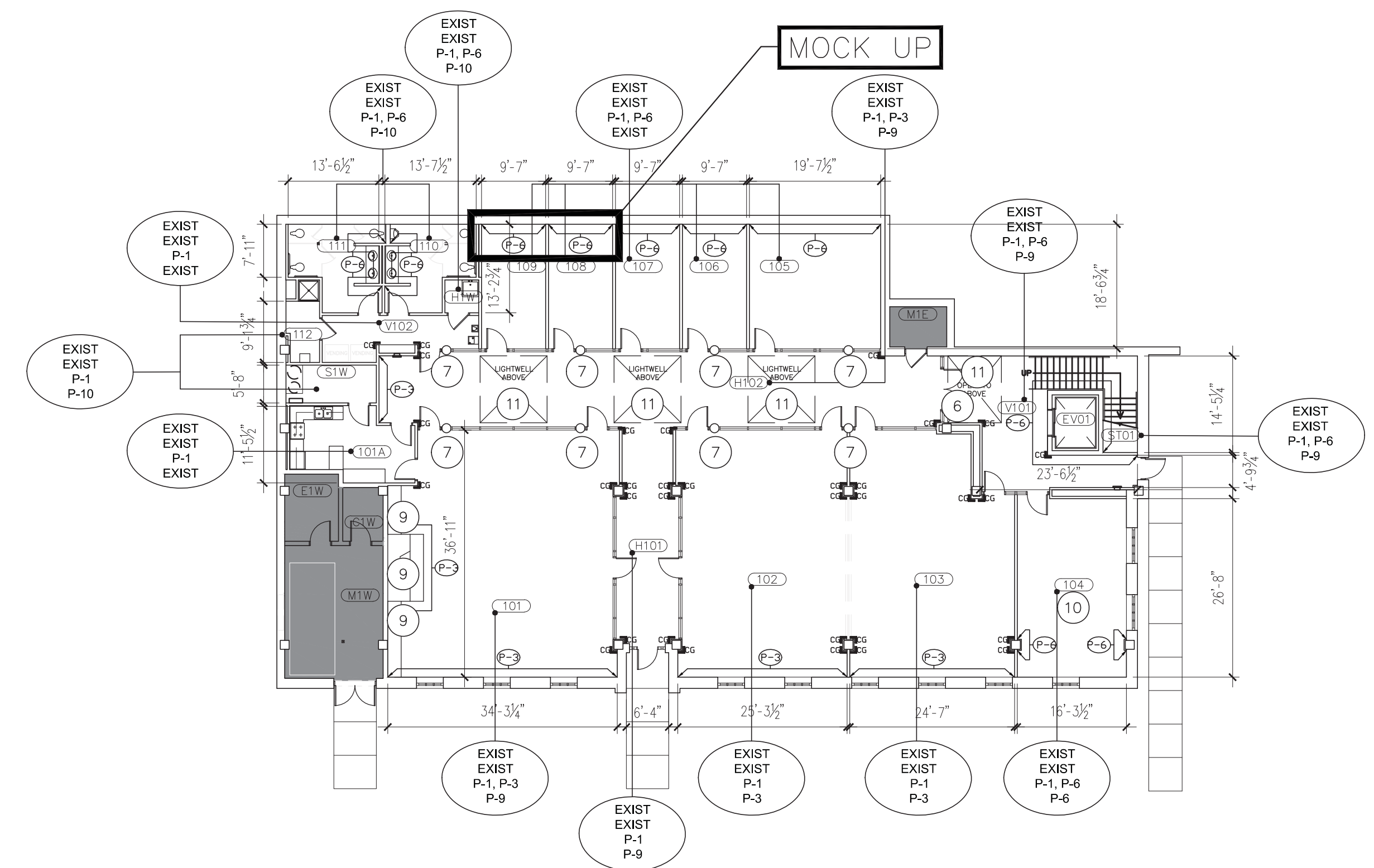
ALL SPACES AND ITEMS IN SCOPE OF WORK ARE TO BE A MATCH TO MOCK UP QUALITY OF CONSTRUCTION.

FIELD VERIFY

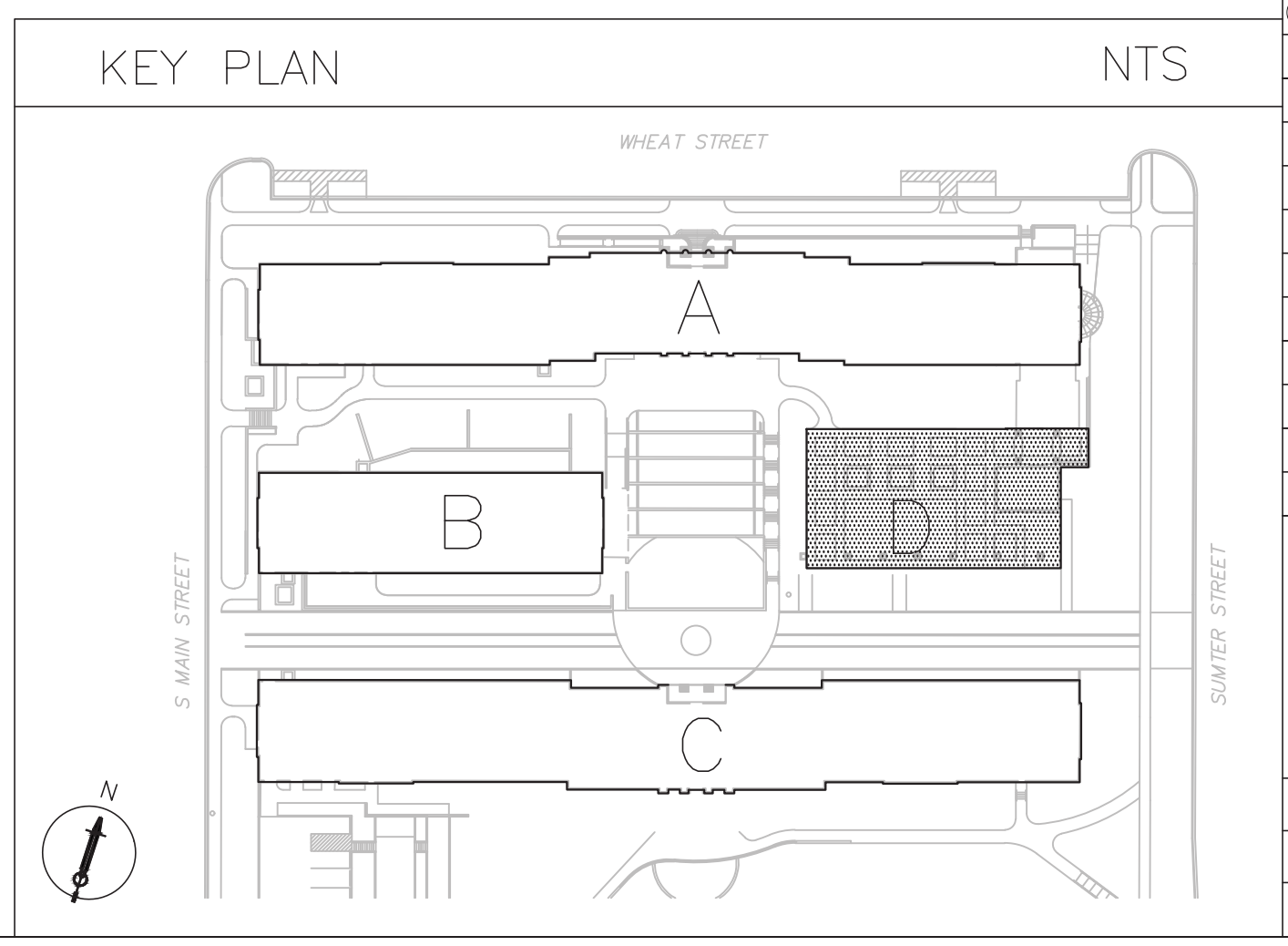
GC SHALL VERIFY IN FIELD ALL DIMENSIONS AND EXISTING CONDITION PRIOR TO RENOVATION.



B1 1ST FLOOR BUILDING D - REFLECTED CEILING PLAN
SCALE: 1/16" = 1'-0"



A1 1ST FLOOR BUILDING D - FINISH PLAN
SCALE: 1/16" = 1'-0"



KEY PLAN		NTS
©2018 Compass 5 Partners, LLC Project Number: 19USC01		
For Bidding 02-15-19		
D - 1ST FLOOR FINISH PLAN		
Date:	02.15.19	ID2.13
Drawn:	IAP	
Checked:	MEC	



Compass 5 Partners, LLC
 1329 State Street Cayce, SC 29033
 803 765 0838 compass5partners.com

University of South Carolina
Green Quad Residence Hall & Learning Center
Interior Painting Maintenance USC Project # 50003341-2
 Columbia, SC

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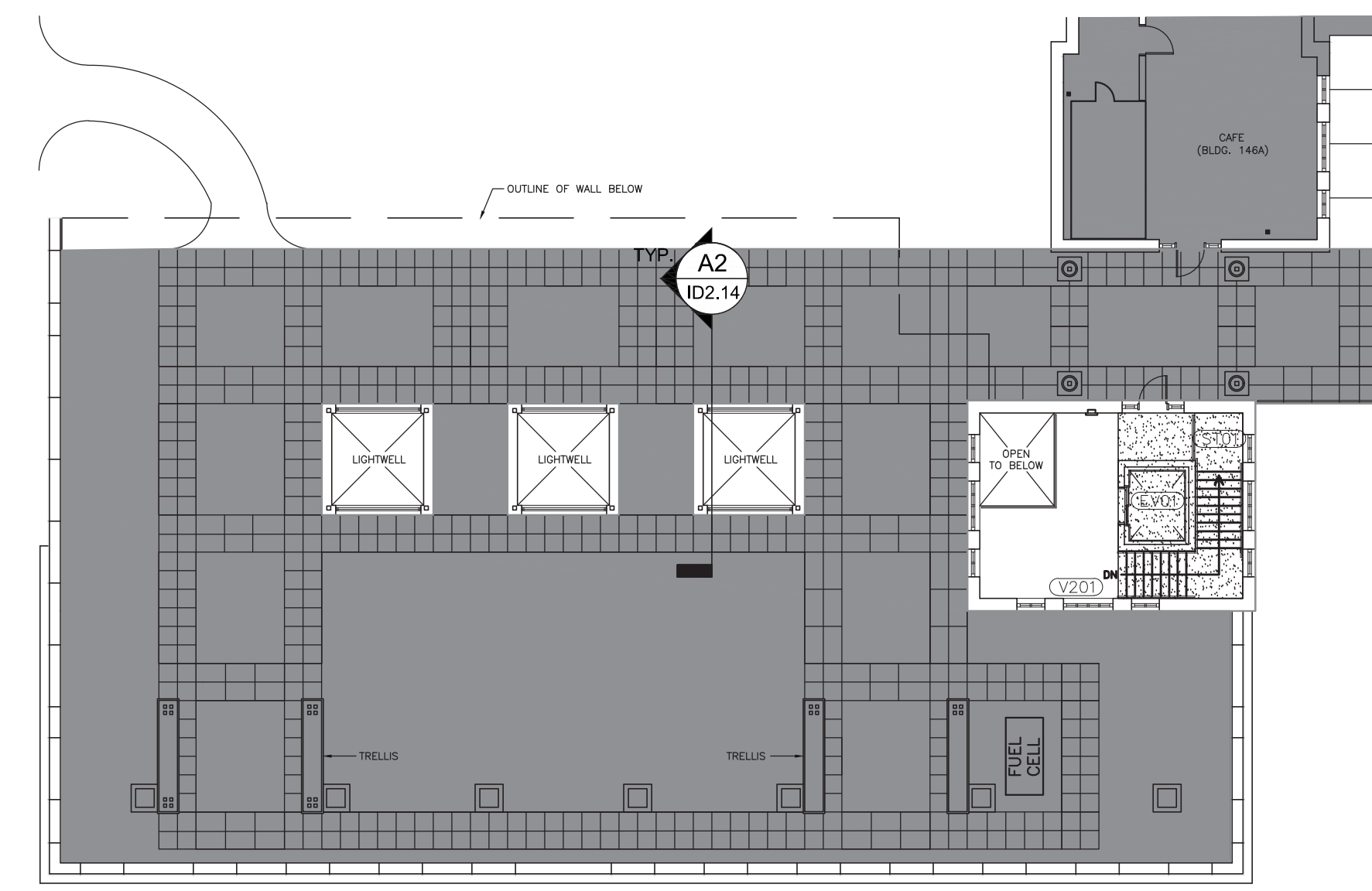
LEGEND	
X-X"	HEIGHT ABOVE FINISHED FLOOR
[Pattern]	GWB CEILING, 8' A.F.F. UNO.
[Pattern]	TEXTURED GWB CEILING, 12' A.F.F. UNO.
[Pattern]	EXISTING ACT/EXPOSED DECK TO REMAIN. NO PAINT. UNO

FIELD VERIFY

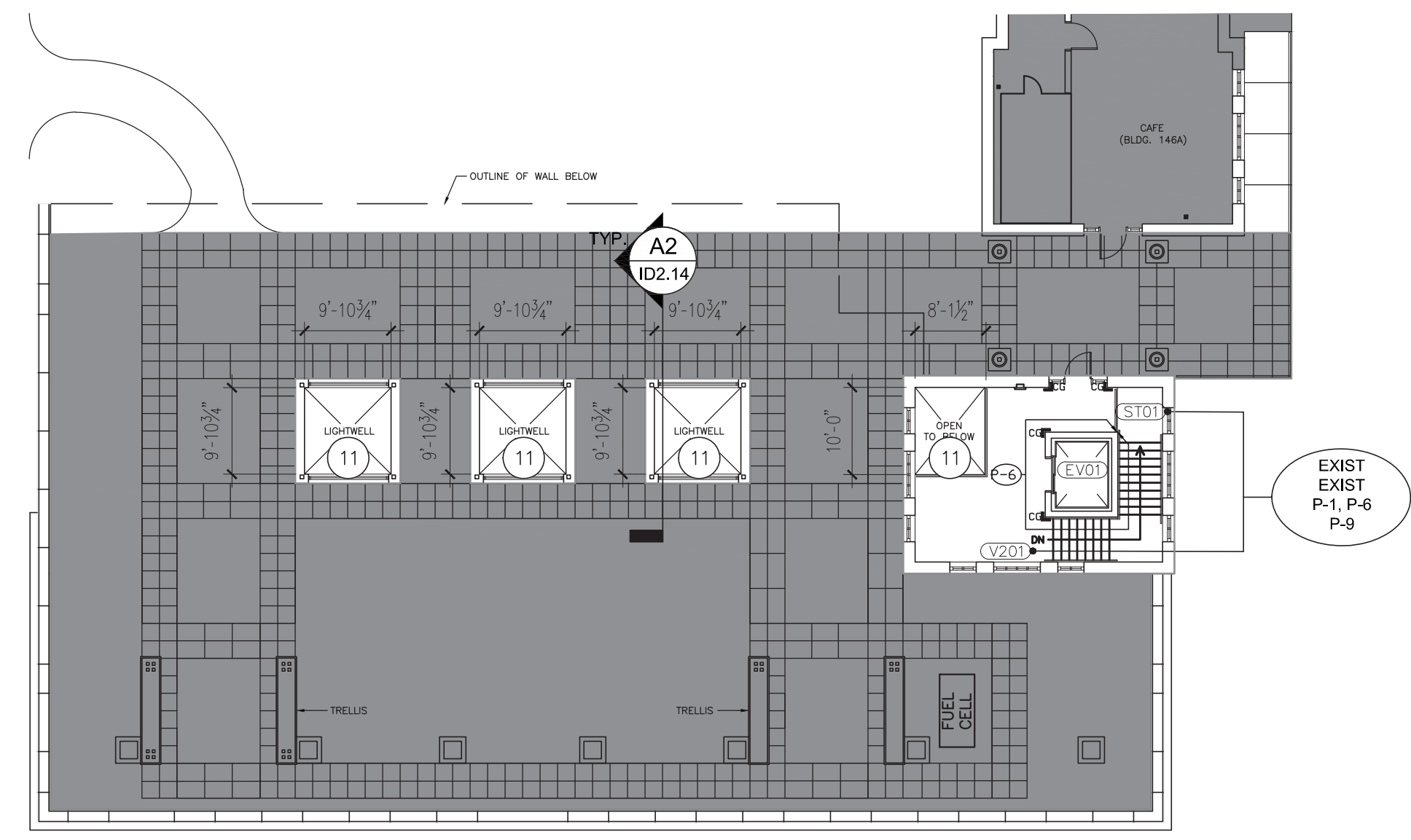
GC SHALL VERIFY IN FIELD ALL DIMENSIONS AND EXISTING CONDITION PRIOR TO RENOVATION.



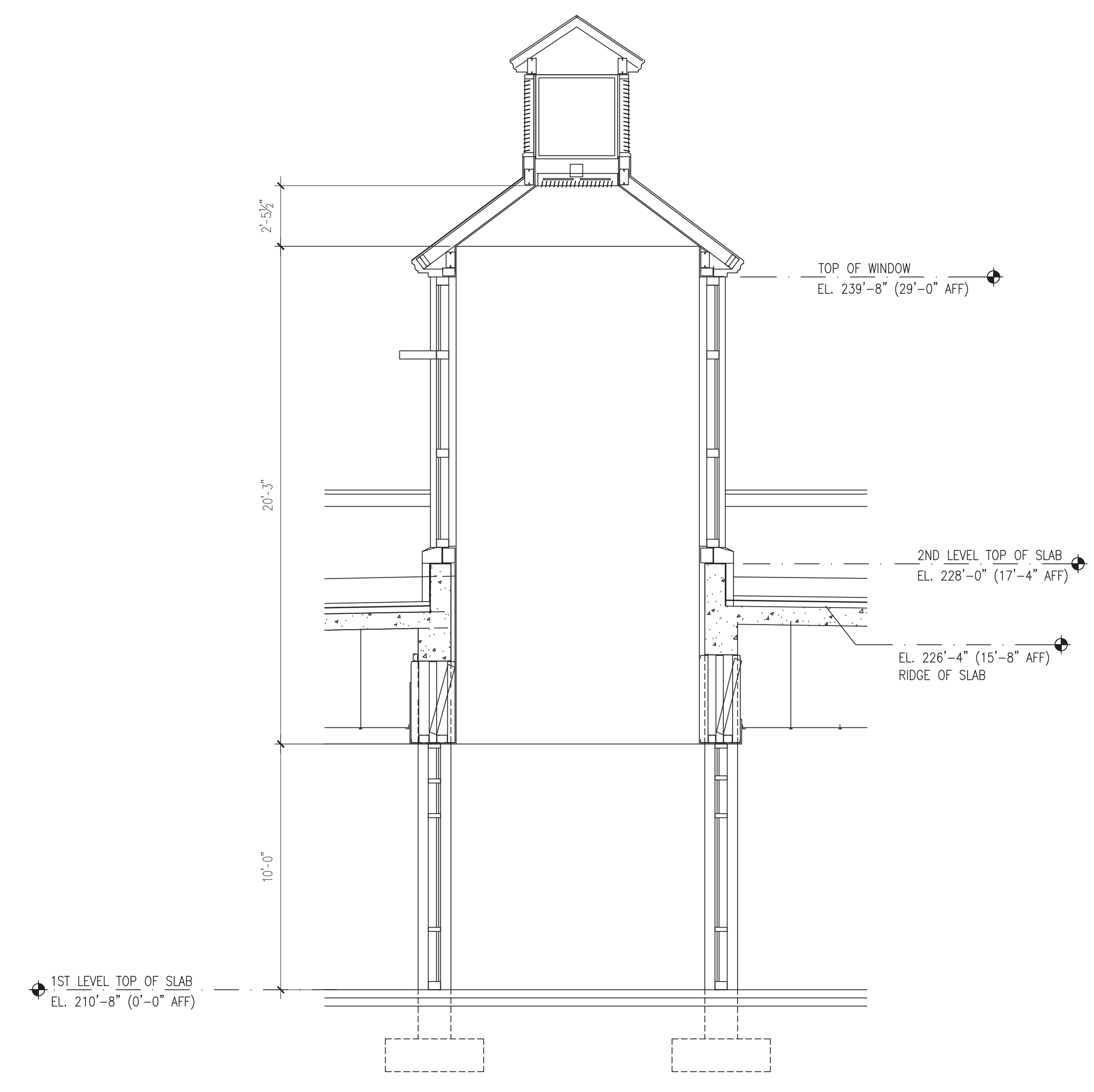

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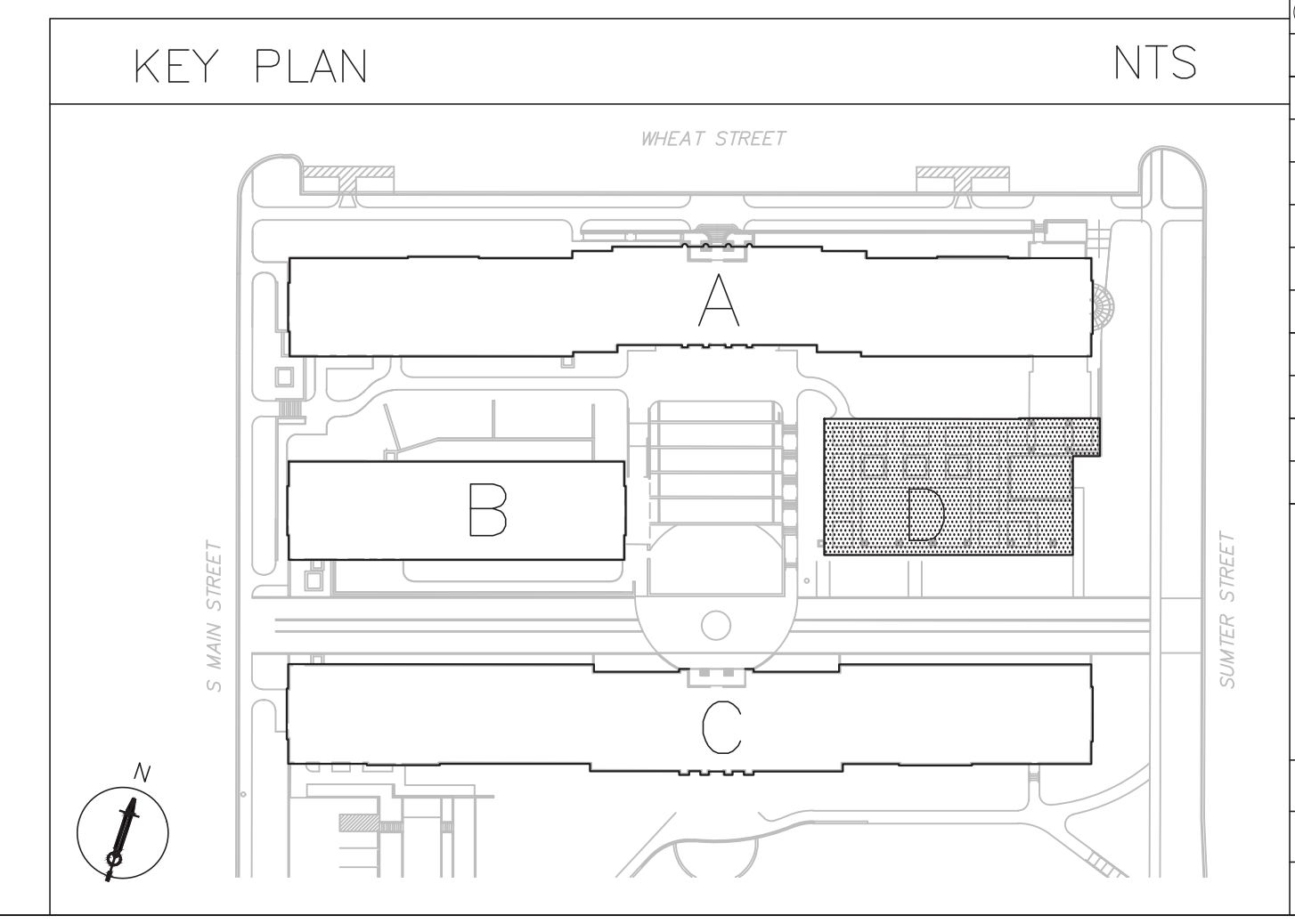
B1 2ND FLOOR BUILDING D - REFLECTED CEILING PLAN
SCALE: 1/16" = 1'-0"



A1 2ND FLOOR BUILDING D - FINISH PLAN
SCALE: 1/16" = 1'-0"



A2 2ND FLOOR BUILDING D - REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



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 Project Number: 19USC01

For Bidding: 02-15-19

D - 2ND FLOOR FINISH PLAN

Date: 02.15.19
 Drawn: IAP
 Checked: MEC

ID2.14

University of South Carolina
Green Quad Residence Hall & Learning Center
 Interior Painting Maintenance USC Project # 50003341-2
 Columbia, SC